

DRAWING INDEX AND ISSUE DATES

- PRELIMINARY OR PRICING PLANS
- FIRST FORMAL SUBMITTAL OR NO CHANGES SINCE PREVIOUS ISSUE
- ✚ MODIFICATIONS SINCE PREVIOUS ISSUE

ISSUE DATES AND DESCRIPTIONS	
03.14.18	PRELIM. PLANNING SUBMITTAL
08.27.18	PLANNING SUBMITTAL
10.31.18	PLANNING RESUBMITTAL
02.28.19	PLANNING RESUBMITTAL
04.11.19	PLANNING RESUBMITTAL

COVER SHEET

ARCHITECTURAL

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LANDSCAPE

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CIVIL

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C3.1	PRELIMINARY STORMWATER QUALITY CONTROL NOTES, DETAILS & CALCULATIONS	●	●	+	+
C3.2	PRELIMINARY LOW IMPACT DEVELOPMENT REDUCTION CALCULATION	●	●	+	●

VICINITY MAP



A Planning Application For:

WINDY HILL PROPERTY VENTURES

3RD AVENUE & RAILROAD AVENUE

SAN MATEO, CA 94401



APPLICABLE CODES

2016 CALIFORNIA BUILDING CODE (CCR TITLE 24, PART 2)
2016 CALIFORNIA ELECTRIC CODE (CCR TITLE 24, PART 3)
2016 CALIFORNIA MECHANICAL CODE (CCR TITLE 24, PART 4)
2016 CALIFORNIA PLUMBING CODE (CCR TITLE 24, PART 5)
2016 CALIFORNIA FIRE CODE (CCR TITLE 24, PART 6)
2016 CALIFORNIA ENERGY CODE (CCR TITLE 24, PART 9)
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CCR TITLE 24, PART 11)

ALL CODES ARE SUBJECT TO LOCAL GOVERNMENT AMENDMENTS PER CALIFORNIA BUILDING STANDARDS COMMISSION BULLETIN 10-03.

PROJECT TEAM

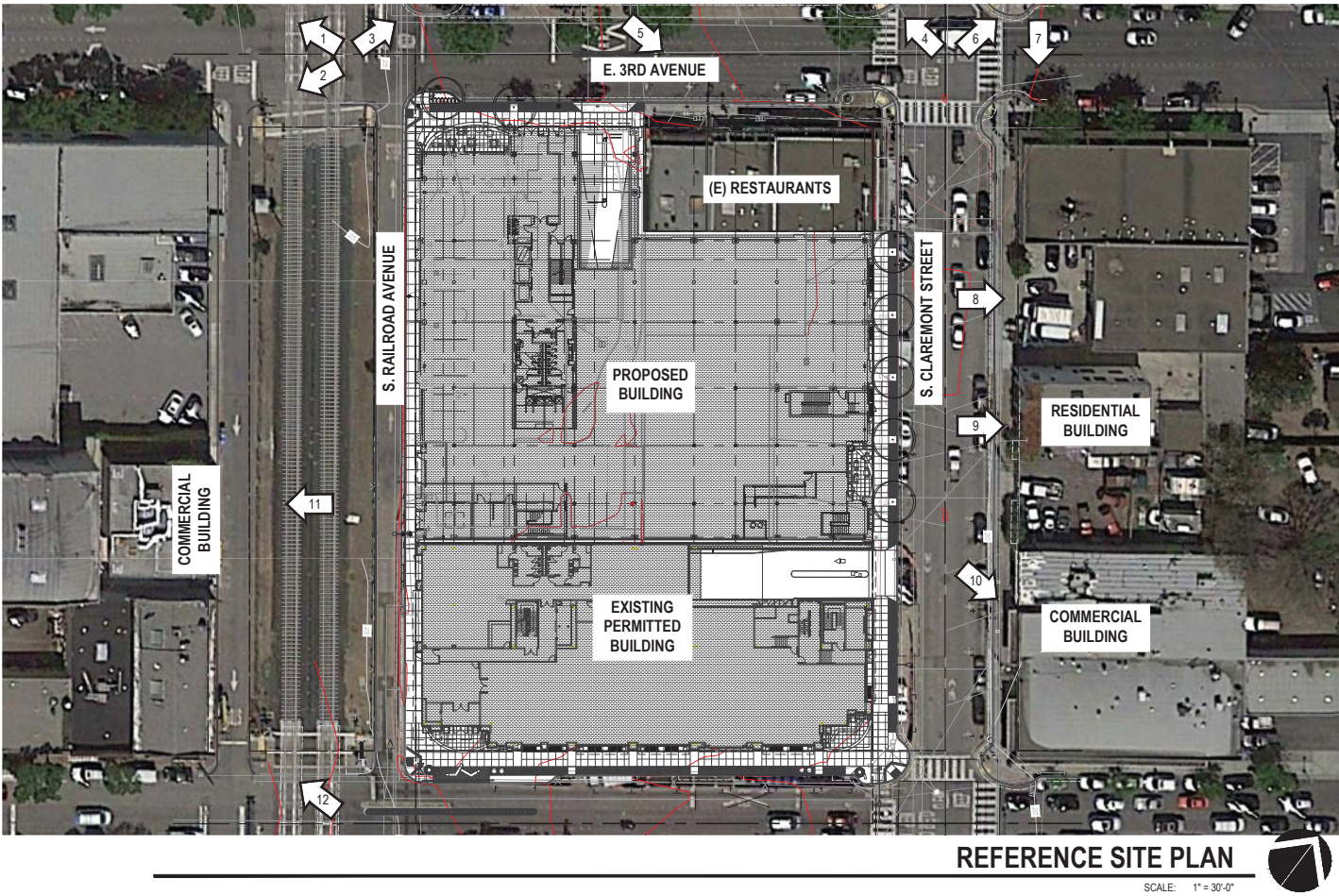
OWNER:	WINDY HILL PROPERTY VENTURES 530 Emerson Street, Suite 150 Palo Alto, CA 94301	ARCHITECT:	ARC TEC INC. 99 Almaden Boulevard, Suite 840 San Jose, CA 95113 PHONE: 408.496.0676 CONTACT: Craig Almetsh EMAIL: craiga@arctecinc.com
LANDSCAPE ARCHITECT:	KLA, INC. 151 N. Norlin Street Sonoma, CA 95370 PHONE: 209.532.2856 CONTACT: Tom Holloway EMAIL: tom@kla-ca.com	CIVIL ENGINEER:	KIER & WRIGHT 3350 Scott Blvd., Building 22 Santa Clara, CA 95054 PHONE: 408.727.6665 CONTACT: Mark Knudsen EMAIL: mknudsen@kiewit.com

PROJECT DATA

OWNER NAME:	WINDY HILL PROPERTY VENTURES	BUILDING AREA, OFFICE:	103,731 S.F.
		TOTAL RESIDENTIAL UNITS:	25 UNITS
PROJECT ADDRESS:	3RD AVENUE & RAILROAD AVENUE	NUMBER OF STORIES:	4
	SAN MATEO, CA 94401	CONSTRUCTION TYPE:	I-B
		FIRE SPRINKLERS:	YES
		OCCUPANCY TYPE:	S-2, B, R-2

PROJECT DESCRIPTION

THIS IS A NEW 119,605-S.F. 4-STORY OFFICE AND 25-UNIT RESIDENTIAL BUILDING ON A 38,516 SF LOT. SCOPE OF WORK SHALL INCLUDE THE CONSTRUCTION OF THE BUILDING SHELL AND CORE AS WELL AS SITE IMPROVEMENTS SUCH AS SIDEWALKS, CURB/GUTTER, BICYCLE RACKS, STREET TREES, ETC.



RESTAURANTS



COMMERCIAL BUILDING



COMMERCIAL BUILDING



COMMERCIAL BUILDING



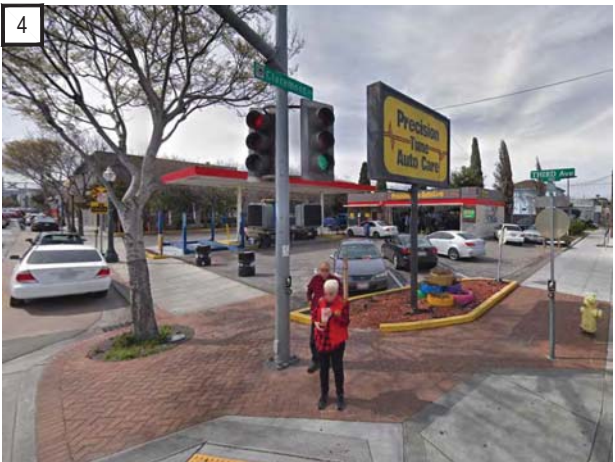
COMMERCIAL BUILDING



COMMERCIAL BUILDING



COMMERCIAL BUILDING



GAS STATION AND AUTO REPAIR



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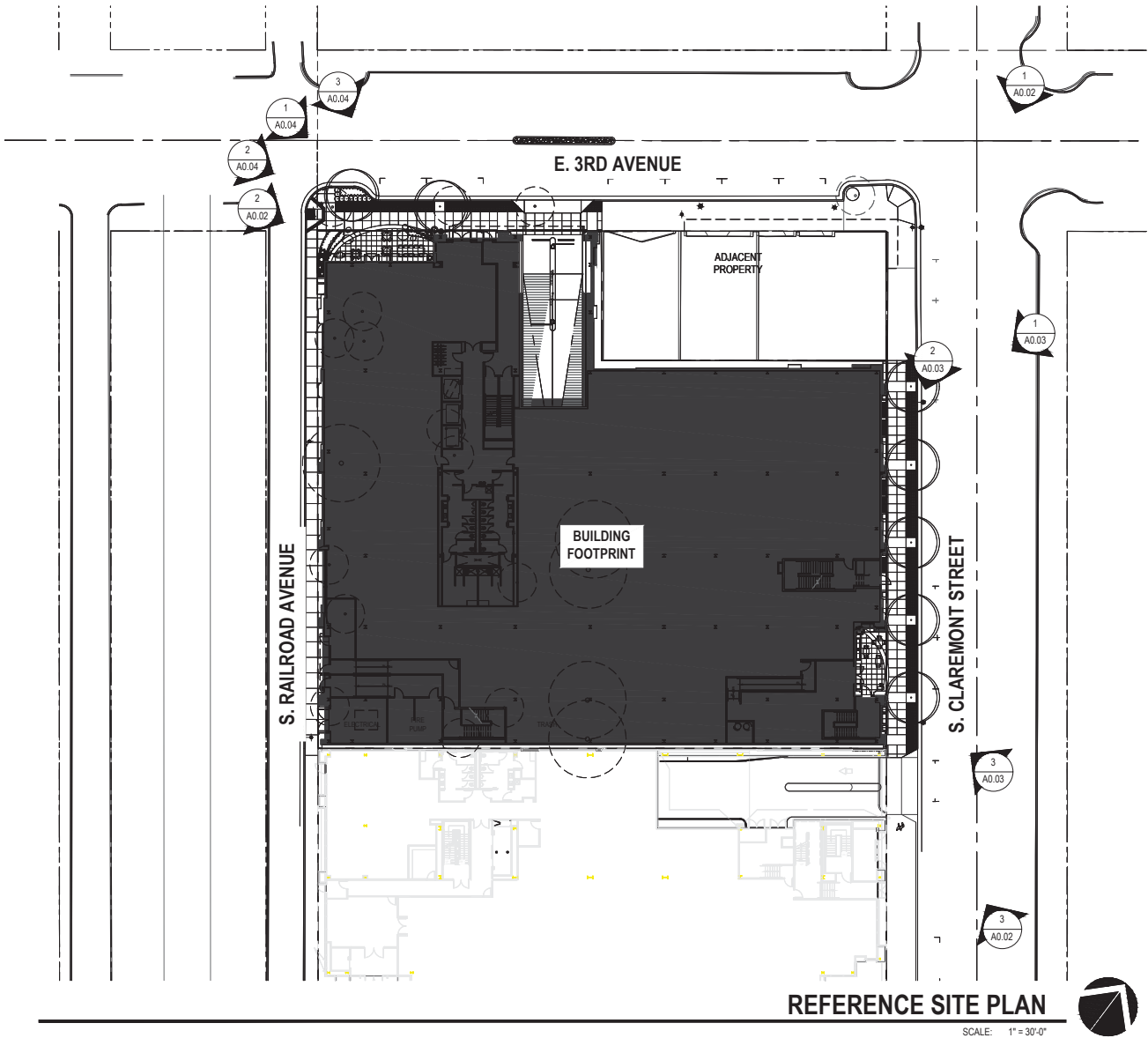
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NEIGHBORHOOD CONTEXT

A0.01

PROJECT NO: 174517



VIEW FROM S. CLAREMONT STREET

3



VIEW FROM S. CLAREMONT STREET AND E. 3RD AVENUE

1



VIEW FROM S. RAILROAD AVENUE AND E. 3RD AVENUE

2



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RENDERINGS

A0.02

PROJECT NO: 174517



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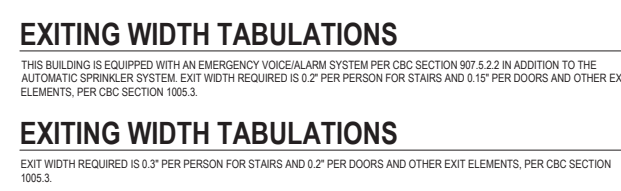
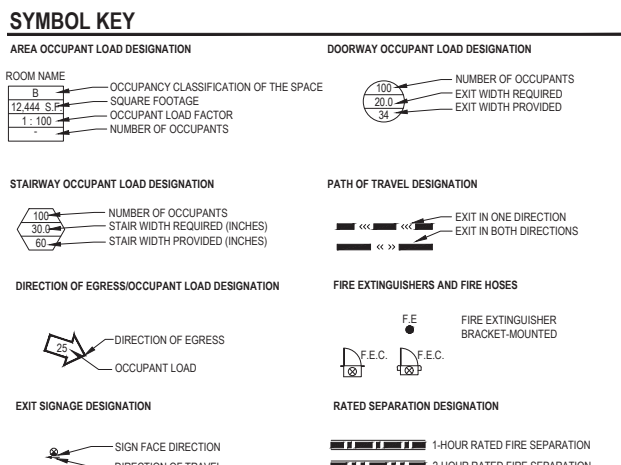
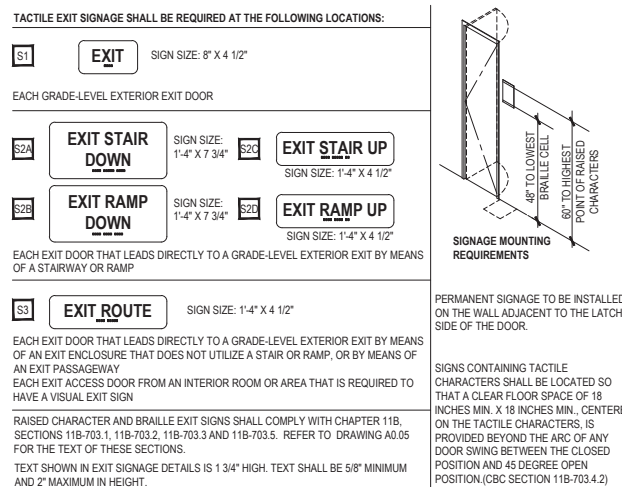
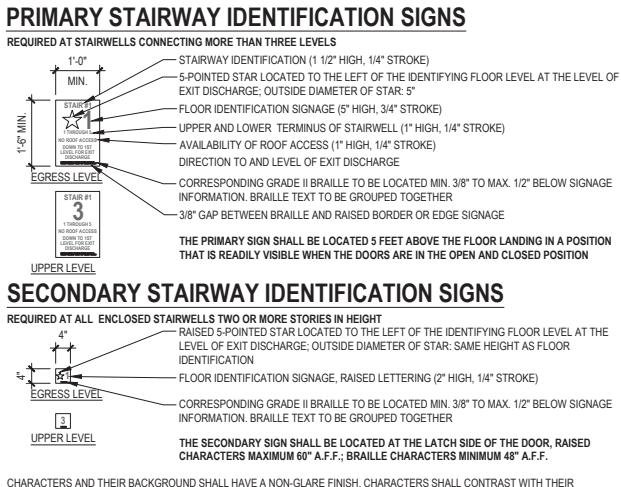
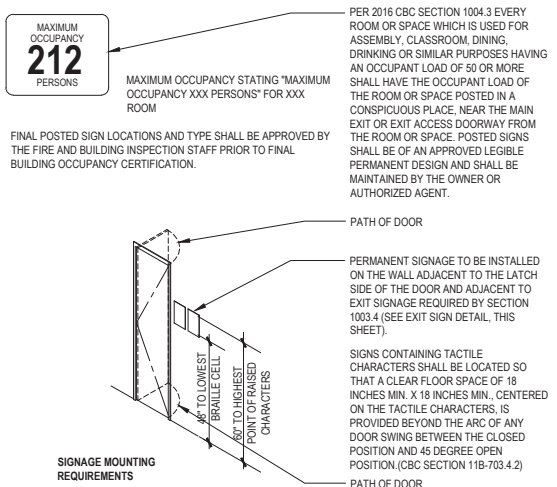
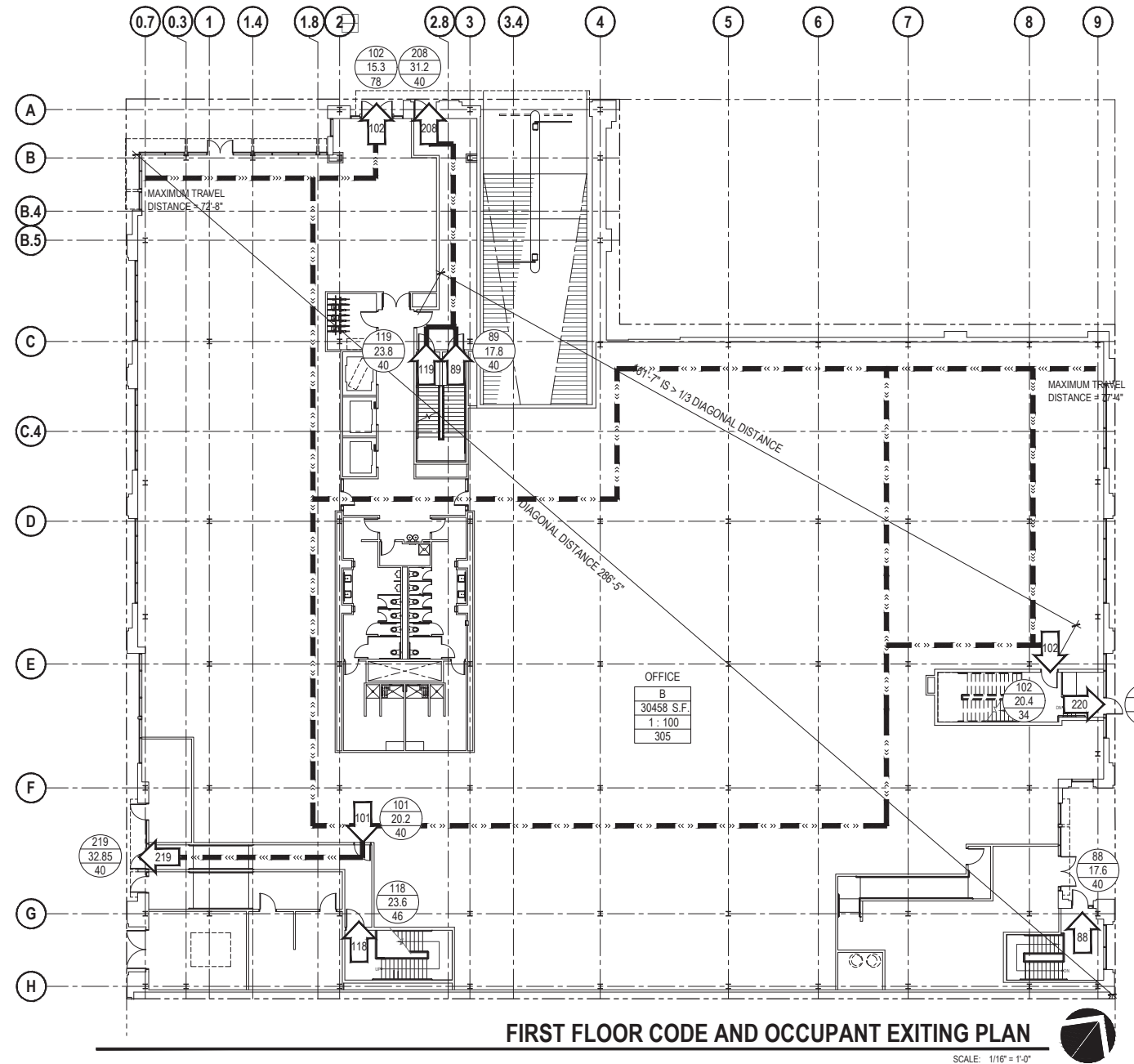
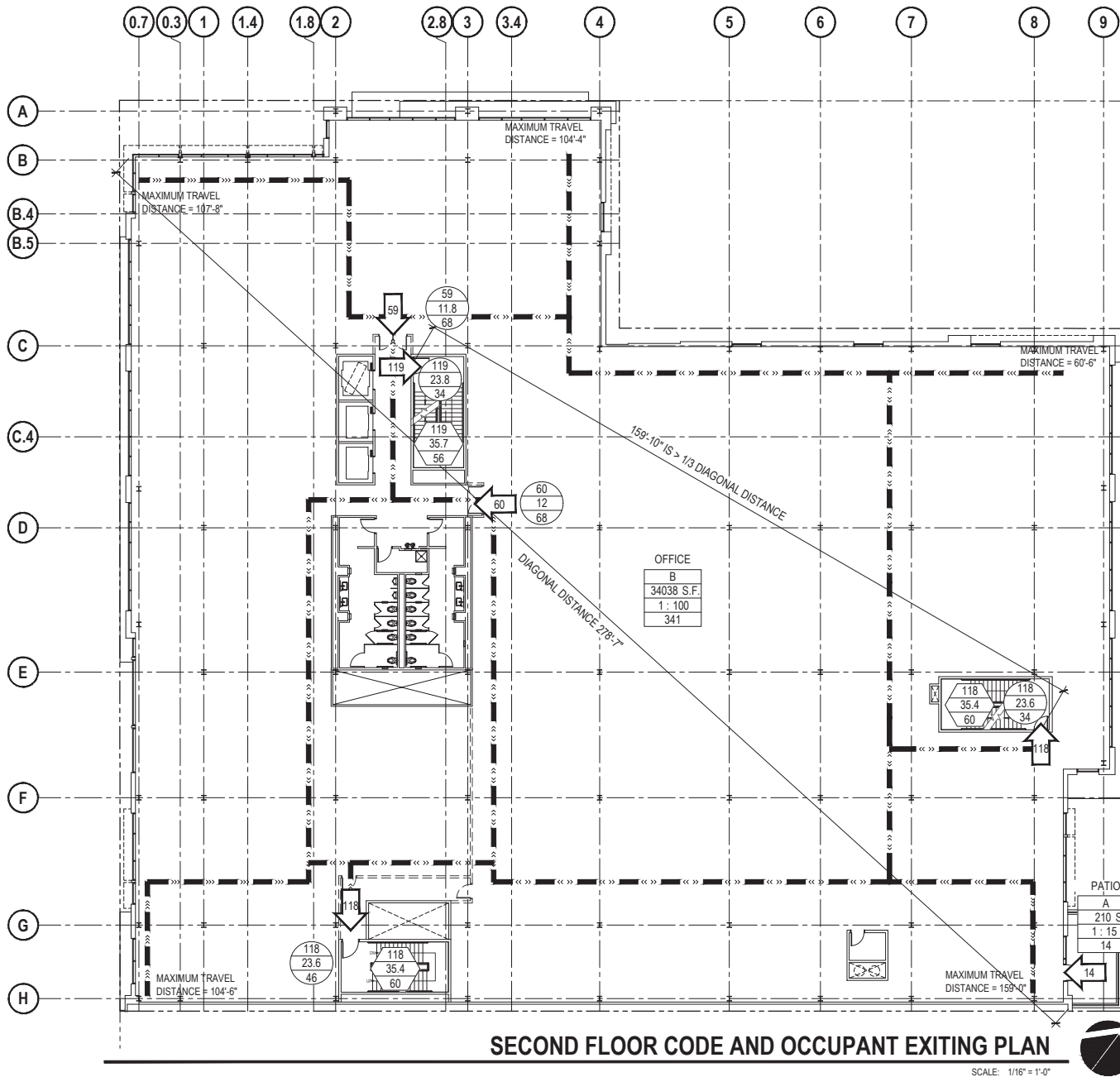
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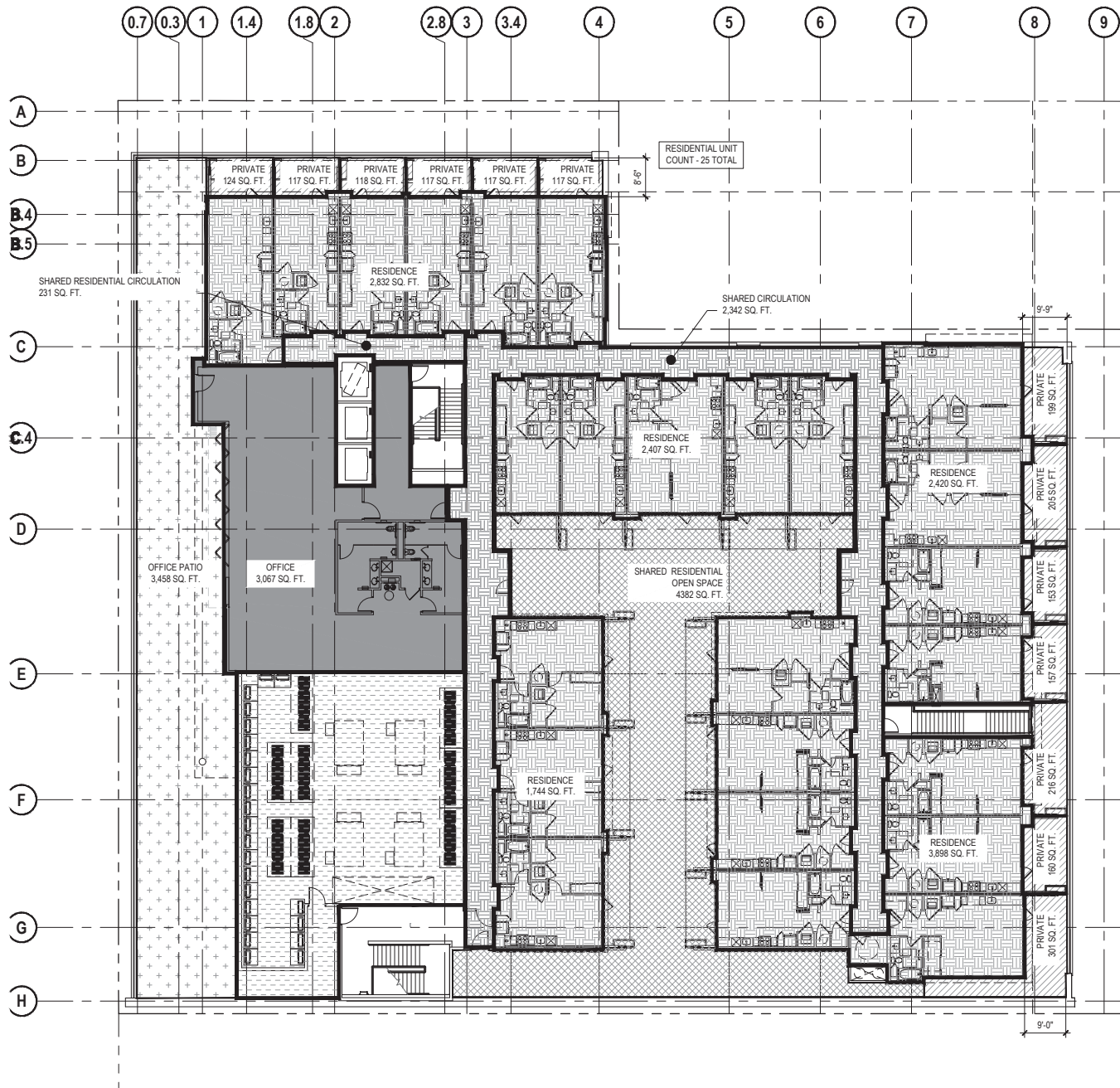
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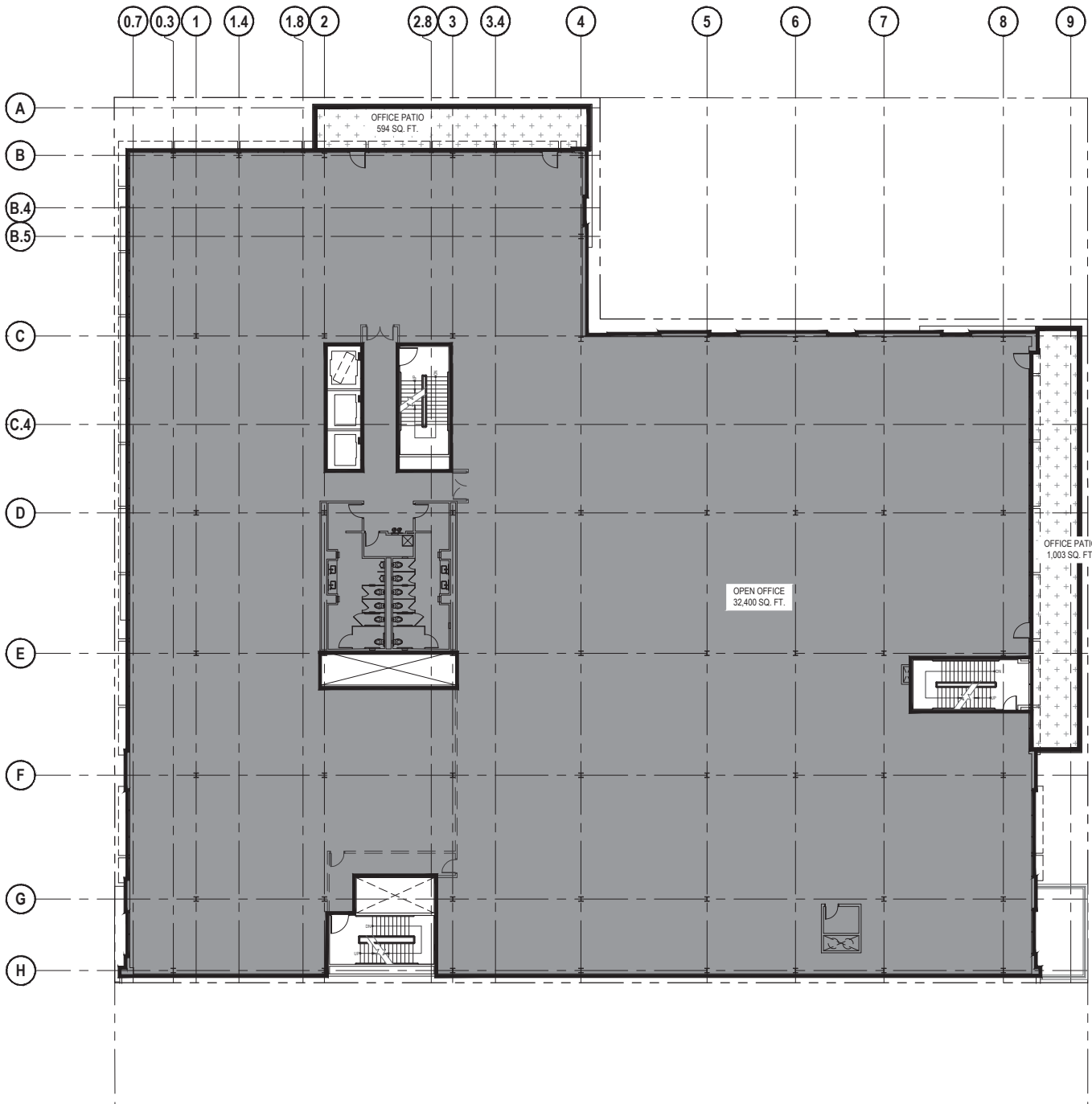
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CODE AND OCCUPANT EXITING PLAN



FOURTH FLOOR AREA PLAN

SCALE: 1/16" = 1'-0"



THIRD FLOOR AREA PLAN

SCALE: 1/16" = 1'-0"



FIRST LEVEL AREAS (OFFICE)	
OPEN OFFICE FLOOR SPACE	30,537 SQ. FT.
LOBBY FLOOR SPACE	1,814 SQ. FT.
STAIR #1	354 SQ. FT.
STAIR #2	357 SQ. FT.
STAIR #3	394 SQ. FT.
STAIR #4	473 SQ. FT.
ELEVATOR	240 SQ. FT.
TOTAL:	34,169 SQ. FT.
SECOND LEVEL AREAS (OFFICE)	
OPEN OFFICE FLOOR SPACE	34,095 SQ. FT.
THIRD LEVEL AREAS (OFFICE)	
OPEN OFFICE FLOOR SPACE	32,400 SQ. FT.
FOURTH LEVEL AREAS (OFFICE)	
OPEN OFFICE FLOOR SPACE	3,067 SQ. FT.
RESIDENCE FLOOR SPACE	13,301 SQ. FT.
RESIDENTIAL CIRCULATION	2,573 SQ. FT.
GROSS OFFICE FLOOR AREA:	103,731 SQ. FT.
GROSS BUILDING FLOOR AREA:	119,605 SQ. FT.

*PER San Mateo Municipal Code 27.94.200 (b) Measurement, other than single-family dwellings in r1 zoning districts.

(1) Floor area is measured from the exterior façade of the building's wall planes, from the centerline of party walls, or from a line three feet from the edge of an eave, whichever produces the largest floor area. Stories exceeding 15 feet in height shall be counted as additional floor area, with the exception that ground floor retail may be up to 18 feet in height measured from first finish floor to second finish floor before being counted as additional floor area. Floor area also includes all accessory structures on the site and basements that meet the definition in subsection (c)(5).

(2) Exclusions. The following are not counted as floor area:

(A) Covered or open courts, and atriums, on the ground floor, provided that the area is not used as dwelling, office, retailing, or required access;

(B) In multiple-level buildings, covered courts, if the retailing uses are open to the public. Multiple-level stairwells and elevators shall be counted only as ground floor area;

(C) Covered walkways and balconies;

(D) First floors, mechanical areas, penthouse, and top floors are counted only once as floor area, regardless of height;

(E) Bicycle parking facilities;

(F) Floor area designated for day care centers accessory to and intended to serve a multi-family, commercial, office or manufacturing use. Such floor area may be located within the primary structure or may be in a freestanding structure accessory to the primary structure;

(G) Covered parking for office use shall not be counted as floor area in areas delineated for exclusion within an adopted plan, such as the Mariner's Island Specific Plan or the Bay Meadows Specific Plan.

	OFFICE - TYPE B OCCUPANCY 1 PERSON/ 100 SQ FT
	RESIDENTIAL - TYPE R OCCUPANCY 1 PERSON/ 200 SQ FT
	RESIDENTIAL SHARED PATIO - TYPE A OCCUPANCY 1 PERSON/ 15 SQ FT
	RESIDENTIAL PRIVATE PATIO - TYPE R OCCUPANCY 1 PERSON/ 200 SQ FT
	OFFICE PATIO - TYPE A OCCUPANCY 1 PERSON/ 15 SQ FT
	MECHANICAL/UTILITY SPACE - TYPE U OCCUPANCY 1 PERSON/300 SQ. FT.

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PLANNING DEPARTMENT
AREA CALCULATIONS

A0.22
PROJECT NO: 174517

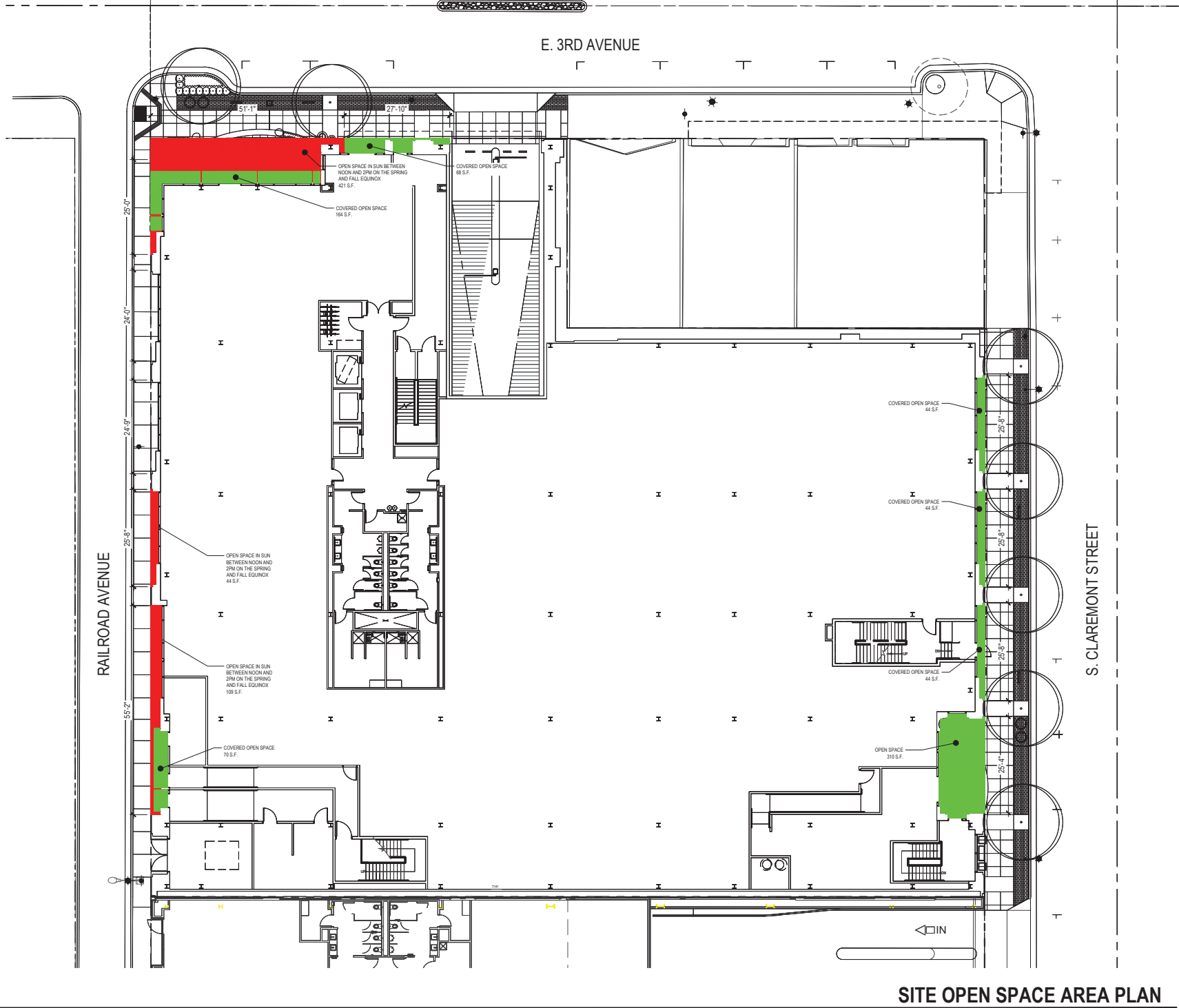
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SITE OPEN SPACE AREA PLAN

SCALE: 1/16" = 1'-0"

OPEN SPACE CALCULATIONS

PER SMMC 27.38.090 OPEN SPACE REQUIREMENTS
OPEN SPACE TO HAVE 25'-0" MINIMUM WIDTH

TOTAL OFFICE AREA 103,731 SQ. FT.

REQUIRED -OPEN SPACE (1% OF OFFICE AREA): 1,037 SQ. FT.

(50% OF REQUIRED) OPEN SPACE IN SUN BETWEEN NOON AND 2PM ON THE SPRING AND FALL EQUINOX PER SMMC 27.38.090 519 SQ. FT.

PROVIDED OPEN SPACE IN SUN BETWEEN NOON AND 2PM ON THE SPRING AND FALL EQUINOX PER SMMC 27.38.090: 574 SQ. FT.

PROVIDED ABOVE REQUIREMENT OPEN SPACE IN SUN BETWEEN NOON AND 2PM ON THE SPRING AND FALL EQUINOX PER SMMC 27.38.090 46 SQ. FT.

PROVIDED TOTAL OPEN SPACE (1.3% OF OFFICE AREA): 1,318 SQ. FT.
PROVIDED ABOVE REQUIREMENT OPEN SPACE: 281 SQ. FT.

OPEN SPACE AT CORNER OF E. 3RD AVE AND RAILROAD AVE	
TOTAL OPEN SPACE	585 SQ. FT.
OPEN SPACE IN SUN BETWEEN NOON AND 2PM ON THE SPRING AND FALL EQUINOX PER SMMC 27.38.090	421 SQ. FT.

OPEN SPACE LEGEND

- COVERED OPEN SPACE
- OPEN SPACE IN SUN BETWEEN NOON AND 2PM ON THE SPRING AND FALL EQUINOX PER SMMC 27.38.090

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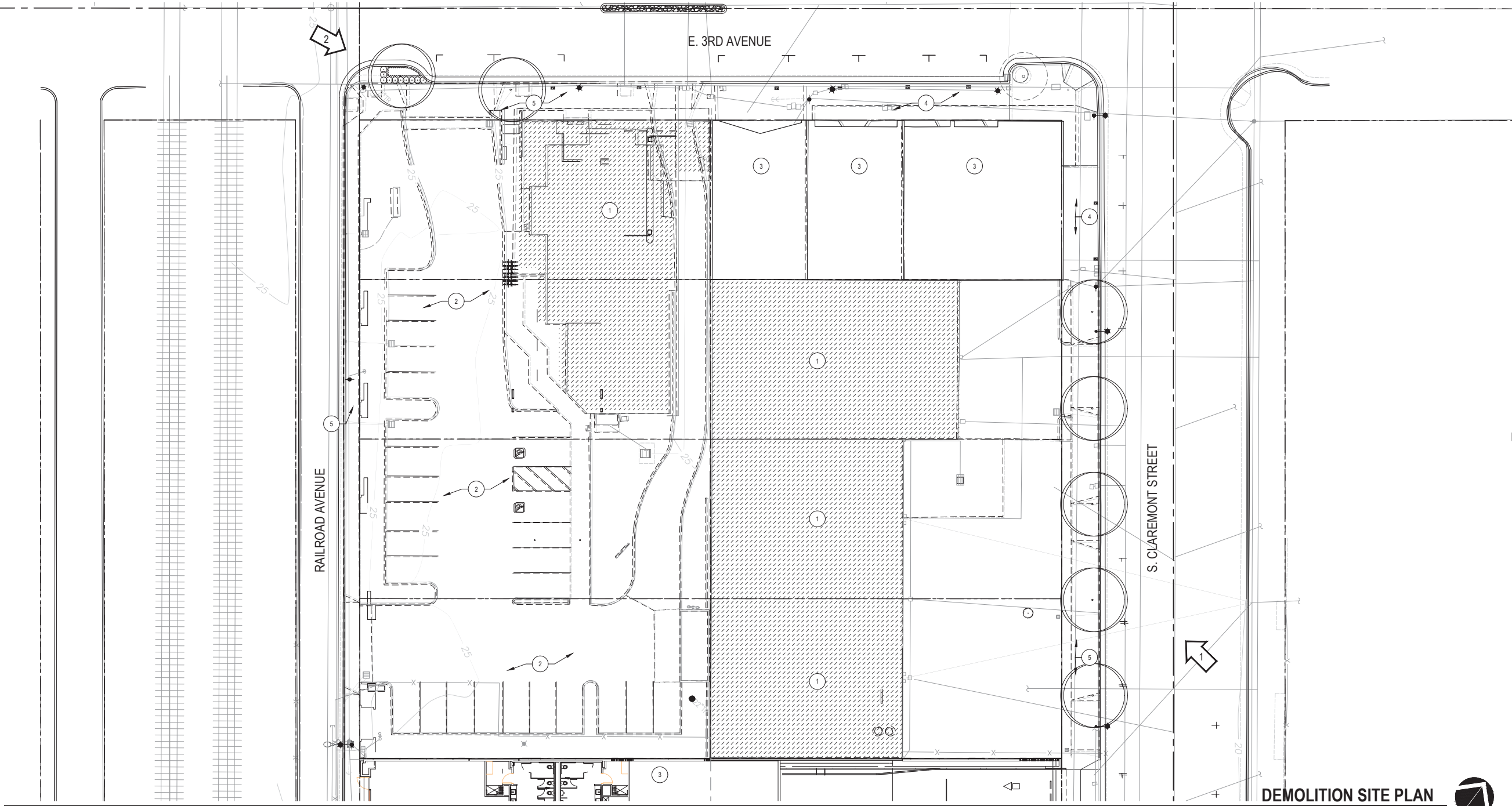
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SITE OPEN SPACE
AREA PLAN

A0.23

PROJECT NO: 174517



DEMOLITION SITE PLAN

SCALE: 1/16" = 1'-0"

KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXISTING BUILDING TO BE DEMOLISHED
- 2 EXISTING PAVED PARKING AND DRIVES TO BE REMOVED
- 3 ADJACENT COMMERCIAL BUILDING; N.I.C.
- 4 EXISTING PUBLIC SIDEWALK TO REMAIN
- 5 DEMO PUBLIC SIDEWALK; SEE CIVIL AND LANDSCAPE DRAWINGS



(E) COMMERCIAL BUILDINGS TO BE DEMOLISHED



(E) FAST FOOD RESTAURANT TO BE DEMOLISHED



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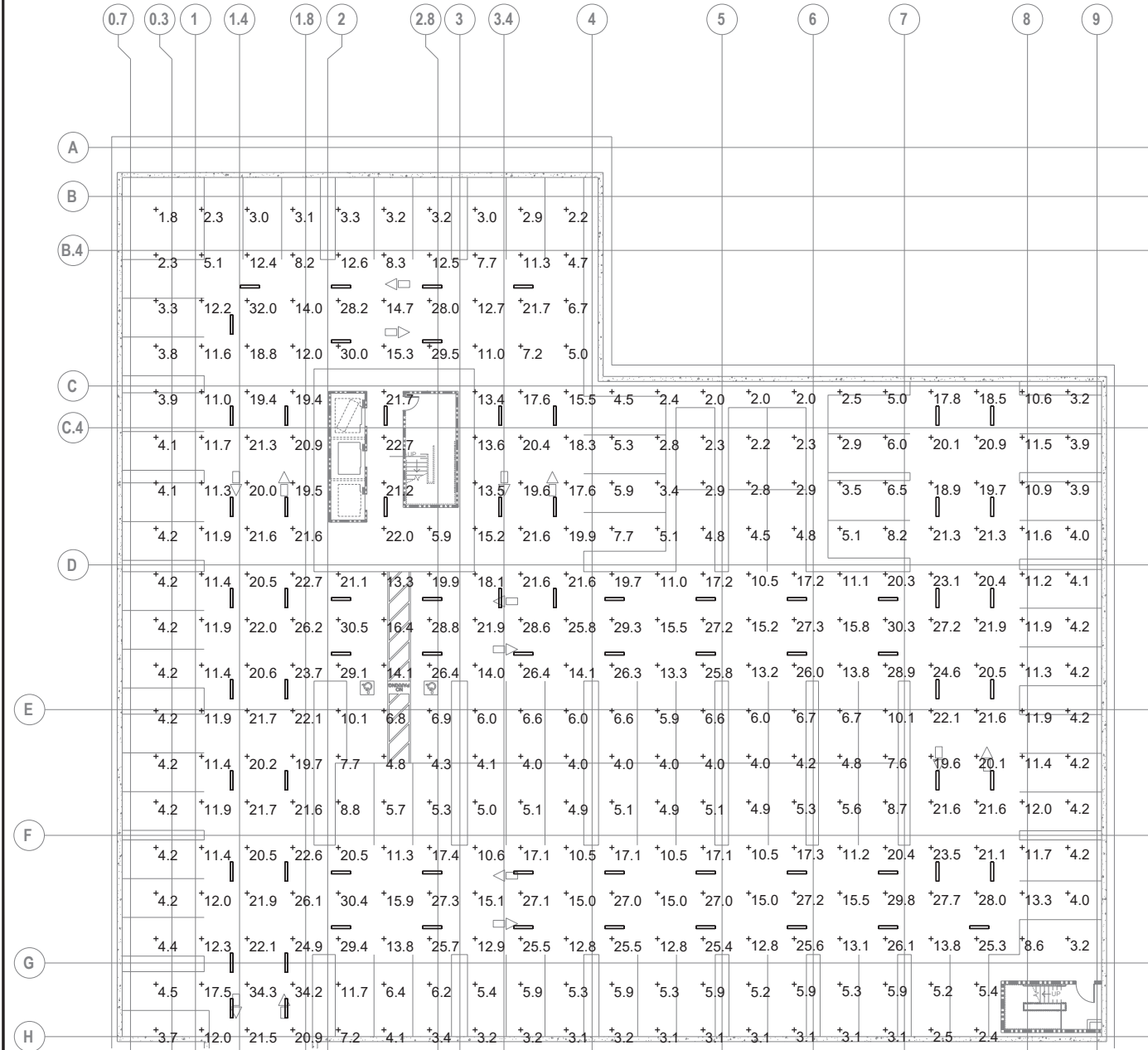
DEMOLITION SITE PLAN


A1.00

PROJECT NO: 174517

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Garage parking - P2	+	12.9 fc	34.3 fc	1.8 fc	19.1 : 1	7.2 : 1

LUMINARY						
Symbol	Label	Qunt.	Manufacturer	Catalog Number	Lumens	Wattage
	L1	71	BEGHELLI	BS100LED-4-SA-LO-WT40-120-277V-AC	5673	50



LUMINARY						
Symbol	Label	Qunt.	Manufacturer	Catalog Number	Lumens	Wattage
	L1	73	BEGHELLI	BS100LED- 4-SA-LO-WT40-120-277V-AC	5673	50



SCALE: 1/16"=1'-0"


MODEL	LENGTH	EFFICACY	CONSUMPTION WATTAGE	LUMEN OUTPUT	CRI	LTB (Hrs.)	LTB (Yrs.)
3FT							
B510LED-2HT-LO-W735-120-27V	2 ft	120 lm/W	30	3665	>80	>60,000	>50,000
B510LED-2HT-LO-W740-120-27V	2 ft	123 lm/W	30	3681	>80	>60,000	>50,000
B510LED-2HT-HI-W735-120-27V	2 ft	127 lm/W	30	3766	>80	>60,000	>50,000
B510LED-2HT-HI-W740-120-27V	2 ft	129 lm/W	30	3780	>80	>60,000	>50,000
B510LED-2HT-MO-W740-120-27V	2 ft	123 lm/W	40	6261	>80	>60,000	>50,000
B510LED-2HT-MO-W750-120-27V	2 ft	127 lm/W	40	5062	>80	>60,000	>50,000
B510LED-2HT-HQ-W735-120-27V	2 ft	119 lm/W	50	3979	>80	>60,000	>50,000
B510LED-2HT-HQ-W740-120-27V	2 ft	123 lm/W	50	3151	>80	>60,000	>50,000
B510LED-2HT-HQ-W750-120-27V	2 ft	127 lm/W	50	5257	>80	>60,000	>50,000
4FT							
B510LED-4HT-LO-W735-120-27V	4 ft	132 lm/W	30	3664	>80	>60,000	>50,000
B510LED-4HT-LO-W740-120-27V	4 ft	136 lm/W	30	6070	>80	>60,000	>50,000
B510LED-4HT-LO-W750-120-27V	4 ft	139 lm/W	30	6159	>80	>60,000	>50,000
B510LED-4HT-HI-W735-120-27V	4 ft	110 lm/W	50	5152	>80	>60,000	>50,000
B510LED-4HT-HI-W740-120-27V	4 ft	113 lm/W	50	5673	>80	>60,000	>50,000
B510LED-4HT-HI-W750-120-27V	4 ft	117 lm/W	50	5857	>80	>60,000	>50,000
B510LED-4HT-MO-W735-120-27V	4 ft	110 lm/W	60	5615	>80	>60,000	>50,000
B510LED-4HT-MO-W740-120-27V	4 ft	113 lm/W	60	5607	>80	>60,000	>50,000
B510LED-4HT-MO-W750-120-27V	4 ft	117 lm/W	60	7004	>80	>60,000	>50,000
B510LED-4HT-HQ-W735-120-27V	4 ft	120 lm/W	70	1366	>80	>60,000	>60,000
B510LED-4HT-HQ-W740-120-27V	4 ft	123 lm/W	70	5610	>80	>60,000	>50,000
B510LED-4HT-HQ-W750-120-27V	4 ft	127 lm/W	70	5857	>80	>60,000	>50,000

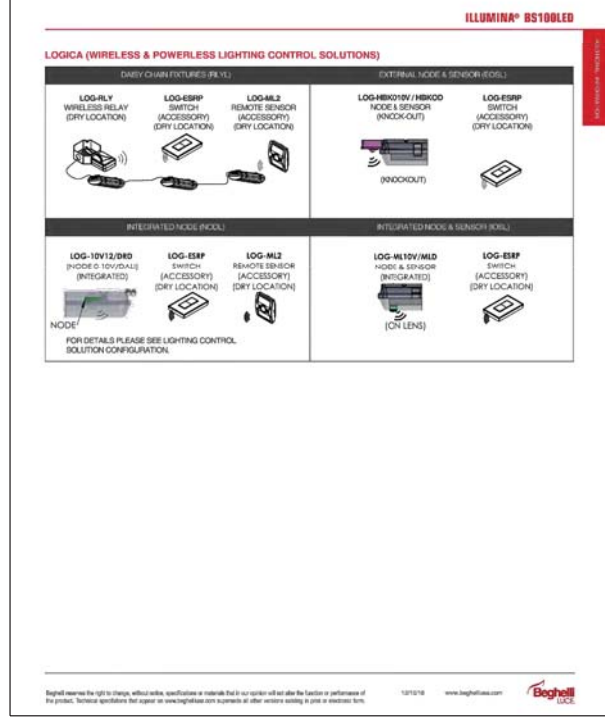
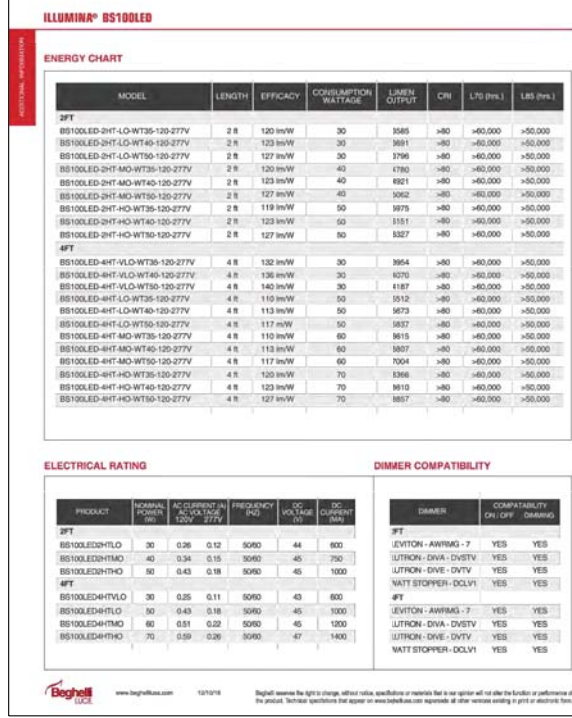
[illegible]


The diagram illustrates three different lighting control solutions:

- LOGICA (WIRELESS & POWERLESS LIGHTING CONTROL SOLUTIONS)**
 - DRIFT CHAIN (FEATURED IN PL 1)**: A diagram showing a LOG-HLV WIRELESS RELAY (DRIFT LOCATION) connected to a LOG-ESP8 SWITCH (ACCESSORY) (DRIFT LOCATION), which is connected to a LOG-M12 REMOTE SENSOR (ACCESSORY) (DRIFT LOCATION). A LOG-HLV12V/12V0 SWITCH & SENSOR (INTEGRATED) is also shown.
 - EXTERNAL NODE & SENSOR (ECL)**: A diagram showing a LOG-HLV12V/12V0 NODE & SENSOR (KNCK-OUT) connected to a LOG-ESP8 SWITCH (ACCESSORY) (DRIFT LOCATION).
- LOG-HLV (INTEGRATED)**: A diagram showing a LOG-HLV12V/12V0 SWITCH & SENSOR (INTEGRATED) connected to a LOG-ESP8 SWITCH (ACCESSORY) (DRIFT LOCATION).
- LOG-M12V/MLD (INTEGRATED)**: A diagram showing a LOG-M12V/MLD SWITCH & SENSOR (INTEGRATED) connected to a LOG-ESP8 SWITCH (ACCESSORY) (DRIFT LOCATION).

FOR DETAILS PLEASE SEE LIGHTING CONTROL SOLUTION CONFIGURATION.

LUMINARY						
Symbol	Label	Qunt.	Manufacturer	Catalog Number	Lumens	Wattage
	L1	71	BEGHELLI	BS100LED- 4-SALO-WT40-120-277V-AC (IN EM MODE)	1135	10






LUMINARY						
Symbol	Label	Qunt.	Manufacturer	Catalog Number	Lumens	Wattage
	L1	73	BEGHELLI	BS100LED- 4-SA-LO-WT40-120-27TV-AC (IN EM MODE)	1135	10

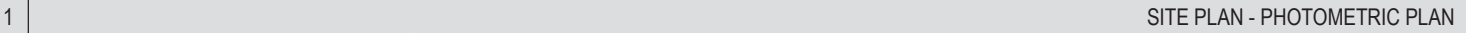


SCALE: 1/16"=1'-0"

ELECTRICAL RATING						DIMMER COMPATIBILITY		
PRODUCT	NOMINAL POWER (W)	AC CURRENT (A)	AC VOLTAGE (V)	FREQUENCY (Hz)	DC VOLTAGE (V)	DC CURRENT (A)	DIMMER	COMPATIBILITY ON/OFF DIMMING
2FT								
BS150L2DTH10	30	0.36	0.12	50/60	44	600	LUTRON - AFRIGG - 7	YES YES
BS150L2DTH12	40	0.38	0.12	50/60	45	720	LUTRON - DVA - DVSTV	YES YES
BS150L3DTH10	50	0.43	0.18	50/60	45	1000	LUTRON - DIVE - DVTV	YES YES
4FT								
BS150L2DTH10	30	0.36	0.11	50/60	43	600	NATL STOPPER-DCLV1	YES YES
BS150L2DTH12	40	0.38	0.18	50/60	45	1000	LUTRON - AFRIGG - 7	YES YES
BS150L3DTH10	60	0.61	0.22	50/60	45	1200	LUTRON - DVA - DVSTV	YES YES
BS150L3DTH12	70	0.59	0.26	50/60	47	1400	LUTRON - DIVE - DVTV	YES YES
BS150L3DTH10	70	0.59	0.26	50/60	47	1400	NATL STOPPER-DCLV1	YES YES

LOGICA (WIRELESS & POWERLESS LIGHTING CONTROL SOLUTIONS)			EXTERNAL NODE & SENSOR (WELL)	
LOG-RLY WIRELESS RELAY (DRY LOCATION)	LOG-ESRP SWITCH (DRY LOCATION)	LOG-ML2 REMOTE SENSOR (ACCESSORY) (DRY LOCATION)	LOG-HB10V/1V/HD NODE & SENSOR (KNOCK OUT)	LOG-ESRP SWITCH (ACCESSORY) (DRY LOCATION)
INTEGRATED NODE (POOL)			INTEGRATED NODE & SENSOR (WELL)	
LOG-10V12/0/0D (NODE & 10V/0/0D) (INTEGRATED)	LOG-ESRP SWITCH (DRY LOCATION)	LOG-ML2 REMOTE SENSOR (ACCESSORY) (DRY LOCATION)	LOG-ML10V/MLD NODE & SENSOR (INTEGRATED)	LOG-ESRP SWITCH (ACCESSORY) (DRY LOCATION)

LUMINARY						
Symbol	Label	Qunt.	Manufacturer	Catalog Number	Lumens	Wattage
	A	12	AMBIANCE	944405S-171	300	9
	B	14	HESS	PARMA 700 PM700-42-CF-7-W	3200	18
	F	4	WAC LIGHTING	EXISTING STREET LIGHTING WA070HP00X7X4	6300	70



Wall mounted luminaire is suitable for both interior and exterior applications. The precision-machined housing and reflector shade of high-grade aluminum are satin anodized. The translucent matte acrylic lens provides diffused illumination. Cast aluminum housing / wall bracket is finished in finely textured paint. All hardware is stainless steel.



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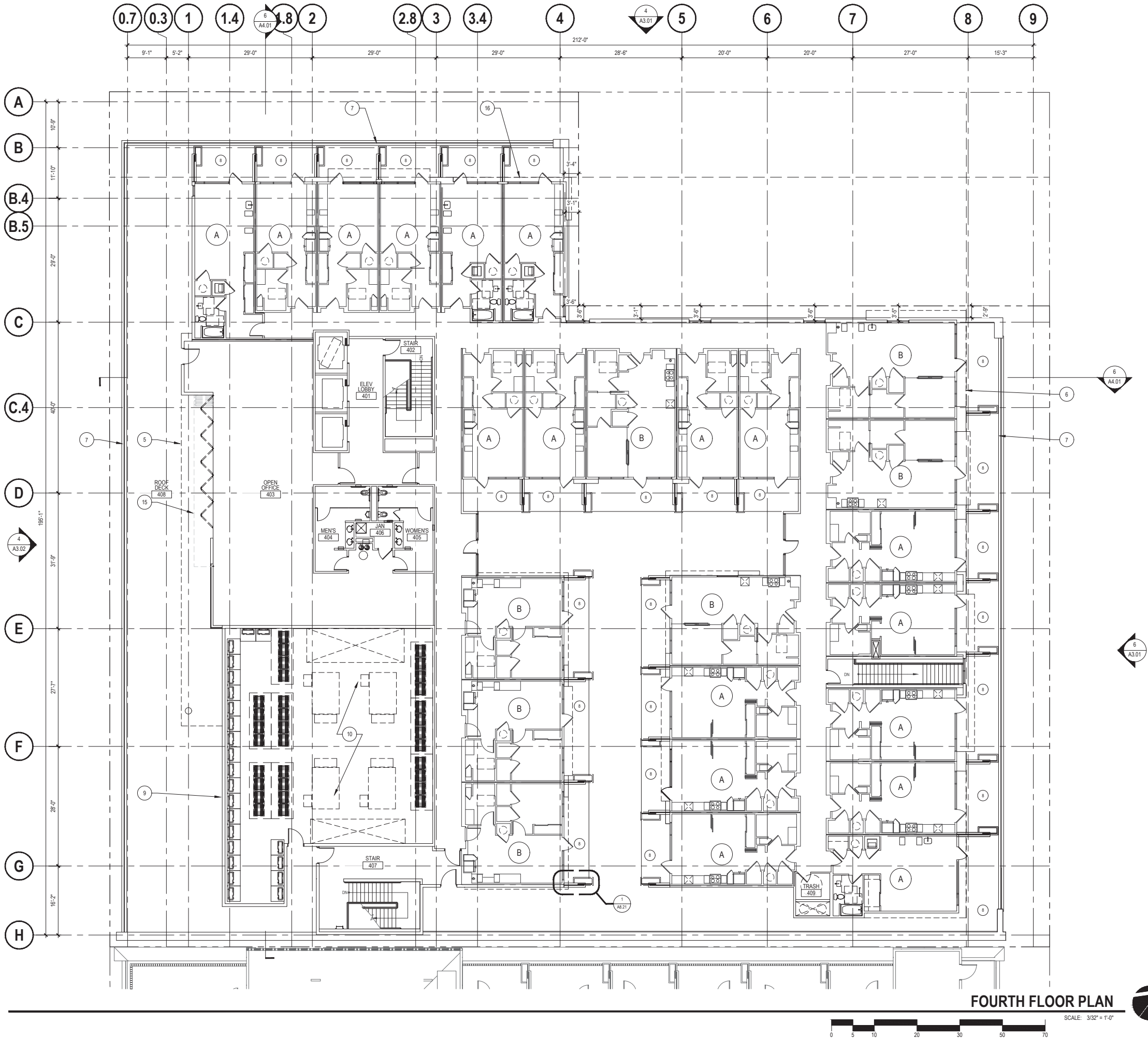


PROJECT NO: 174517



PROJECT NO: 174517

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KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXTERIOR GLAZING SYSTEM; REFER TO EXTERIOR ELEVATIONS FOR SPECIFICATION
- 2 STRUCTURAL COLUMN
- 3 ENTRY/EXIT DOOR
- 4 EXTERIOR WALL; REFER TO EXTERIOR ELEVATIONS FOR FINISH SPECIFICATION
- 5 CANOPY ABOVE, SHOWN DASHED
- 6 REQUIRED STREET WALL SETBACK PER SAN MATEO DOWNTOWN PLAN POLICIES SHOWN DASHED
- 7 EDGE OF BALCONY WITH 42" HIGH GUARDRAIL, REFER TO EXTERIOR ELEVATIONS FOR GUARDRAIL SPECIFICATION
- 8 PRIVATE RESIDENTIAL EXTERIOR BALCONY TO BE A MINIMUM OF 80 S.F. PER DWELLING UNIT
- 9 ROOF SCREEN
- 10 HVAC UNIT
- 11 ENTRY/EXIT DOOR TO BALCONY; FINAL DOOR LOCATION TO BE DETERMINED AT TIME OF TENANT IMPROVEMENT
- 12 LONG-TERM SECURE BICYCLE PARKING WITH DESIGNATED MAINTENANCE AREA; SEE A1.01 FOR BICYCLE PARKING CALCULATIONS
- 13 SECTIONAL PIVOT OVERHEAD DOORS
- 14 MECHANICAL SHAFT
- 15 NANAWALL GLASS PARTITION

UNIT TYPE AND SQUARE FOOTAGE

A	STUDIO UNIT	18 UNITS
B	1-BEDROOM UNIT	7 UNITS

* BELOW MARKET RATE (BMR) UNITS WILL BE PROVIDED IN ACCORDANCE WITH GOVERNMENT CODE SECTION 65915 AND THE CITY'S BELOW MARKET RATE ORDINANCE



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FOURTH FLOOR PLAN

A2.14

PROJECT NO: 174517



OF

PROJECT NO: 174517



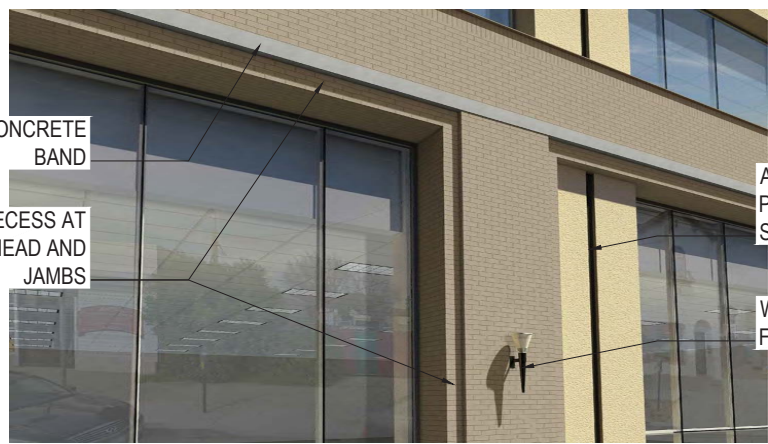
- BICYCLE PARKING PROVIDED (MINIMUM): 8 SHORT-TERM SPACES
26 RESIDENTIAL LONG-TERM SPACES
13 OFFICE LONG-TERM SPACES



11 EXTERIOR WALL SCONCE - HESS AMERICA 'PARMA'
SCALE: N.T.S.



6 EXTERIOR STEP LIGHT - VITRA "BRICK LIGHT"
SCALE: N.T.S.



5 BRICK REVEAL DETAIL VIEW
SCALE: N.T.S.

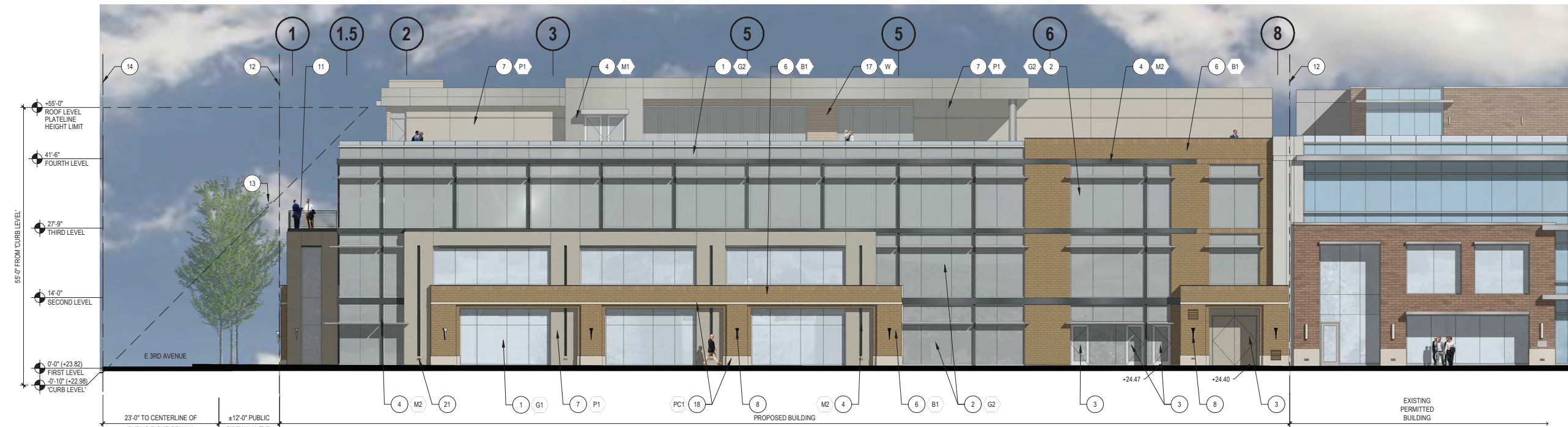


KEYNOTES

- NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.
- 1" INSULATED LOW E GLAZING SYSTEM WITH LOW TINT GLASS IN CLEAR ANODIZED ALUMINUM FRAMES AND BUTT JOINTS
 - 1" INSULATED LOW E GLAZING SYSTEM WITH GRAY TINT GLASS IN CLEAR ANODIZED ALUMINUM FRAMES AND VERTICAL BUTT JOINTS AND EXPRESSED HORIZONTAL MULLIONS
 - ENTRY/EXIT DOOR
 - ALUMINUM COMPOSITE METAL PANEL
 - PUBLIC ART
 - BRICK VENEER AND EXTERIOR SHEATHING OVER METAL STUD FRAME
 - STUCCO FINISH AND EXTERIOR SHEATHING OVER METAL STUD FRAME
 - EXTERIOR WALL SCONCE; SEE DETAIL 11/A3.02
 - EXTRUDED CLEAR ANODIZED ALUMINUM ADDRESS NUMERALS
 - TEMPERED GLAZING GUARDRAIL
 - CABLE GUARDRAIL
 - EXISTING PROPERTY LINE
 - REQUIRED STREET WALL SETBACK TAKEN FROM STREET CENTERLINE PER SAN MATEO DOWNTOWN PLAN POLICIES SHOWN DASHED
 - CENTERLINE OF PUBLIC RIGHT OF WAY
 - ENTRY TO BELOW GRADE PARKING STRUCTURE
 - SECTIONAL PIVOT OVERHEAD DOORS
 - WOOD CLADDING
 - PRECAST CONCRETE
 - SOLAR SHADE
 - BRICK REVEAL AT JAMB
 - STEP LIGHT
 - PARAPET / RAILING EXTENDING ABOVE STREETWALL PER SMMC 27.42.010 "ALLOWABLE INTRUSIONS ABOVE THE STREET WALL ARE LIMITED TO MINOR ARCHITECTURAL DETAILING NOT EXCEEDING FOUR (4) FEET IN HEIGHT AND PARAPETS INCLUDING RAILINGS AND ARBORS AND LANDSCAPED PLANTING AREAS"

MATERIAL PALETTE

- * GLAZING SPECIFIED INDICATES GENERAL TONE AND COLOR. FINAL PERCEIVED COLOR AND CLARITY WILL VARY DEPENDING ON 1" INSULATED GLAZING SPECIFICATION TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENTATION.
- | | | | | | |
|----|---|--|-----|---|---|
| G1 | GLAZING*
TYPE:
COLOR: | 1" INSULATED
LOW TINT | M1 | ALUMINUM SUNSCREEN FINISH TO MATCH
MANUFACTURER:
SERIES:
FINISH: | REYNOBOND
COLORWELD 500 XL
TITANIUM |
| G2 | GLAZING*
TYPE:
COLOR: | 1" INSULATED
GRAY TINT | M2 | ALUMINUM SUNSCREEN FINISH TO MATCH
MANUFACTURER:
SERIES:
FINISH: | REYNOBOND
COLORWELD 500 XL
NIGHTFALL METALLIC |
| B1 | THIN BRICK VENEER TO MATCH
MANUFACTURER:
COLOR:
TYPE:
FINISH: | HC MUDDOX
TUMBLEWEED
NORMAN
WIRECUT | PC1 | PRECAST CONCRETE
MANUFACTURER:
SERIES:
COLOR: | INCRETE
STANDARD COLORS
MATCH DET642 BAY SALT |
| P1 | PAINT OVER STUCCO FINISH TO MATCH
MANUFACTURER:
COLOR: | DUNN EDWARDS
DEC751 ASH GRAY | | | |
| W1 | WOOD CLADDING FINISH TO MATCH
MANUFACTURER:
COLOR: | TREE FROG
60219 WHITE OAK | | | |



WEST (RAILROAD AVE) ELEVATION

SCALE: 3/32" = 1'-0"

4



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EXTERIOR ELEVATIONS

A3.02

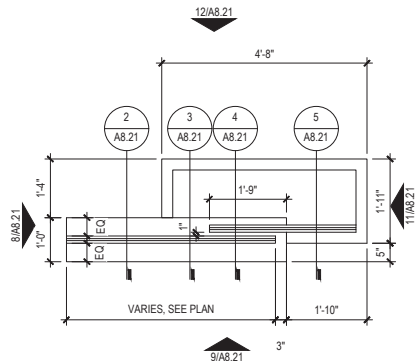
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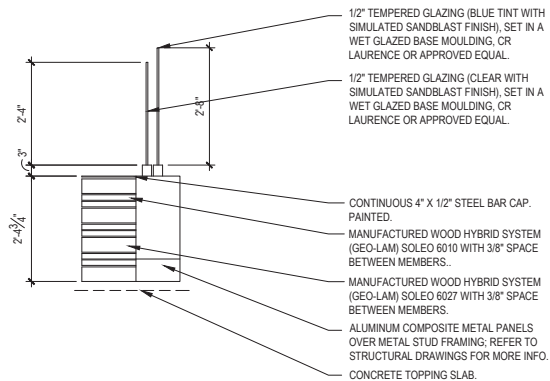


4

SCALE: $3/4" = 1' - 0"$

1

SCALE: 1/2" = 1'-0"

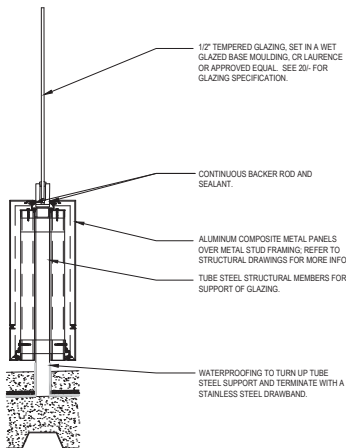


11

SCALE: 1/2" = 1'-0"

8

SCALE: 1/2" = 1'-0"

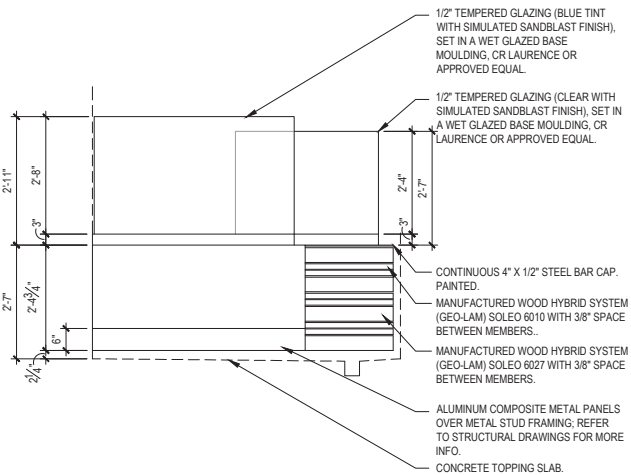


5

SCALE: 3/4" = 1' - 0"

2

SCALE: $3/4" = 1' - 0"$

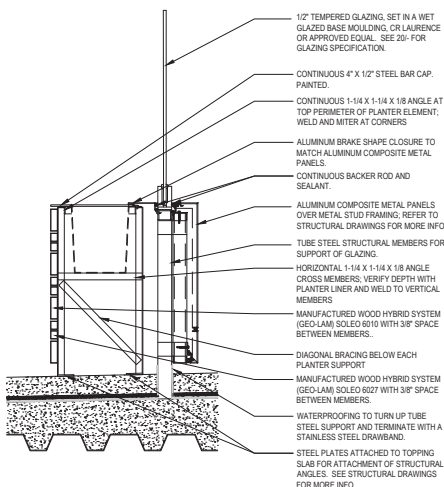


12

SCALE: 1/2" = 1'-0"

9

SCALE: 1/2" = 1'-0"



6

SCALE: 3/4" = 1' - 0"

3

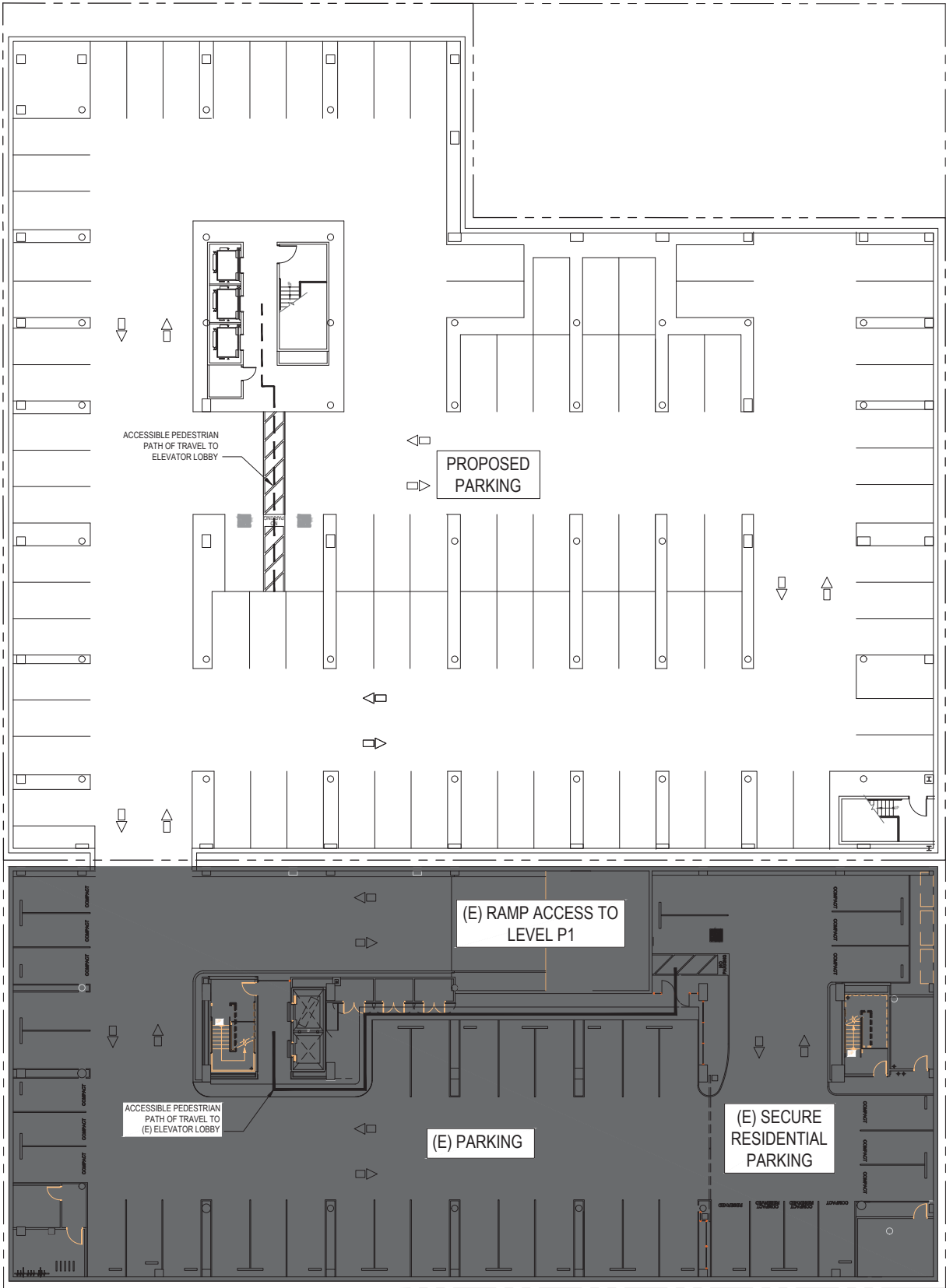
SCALE: $3/4" = 1' - 0"$

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DETAILS

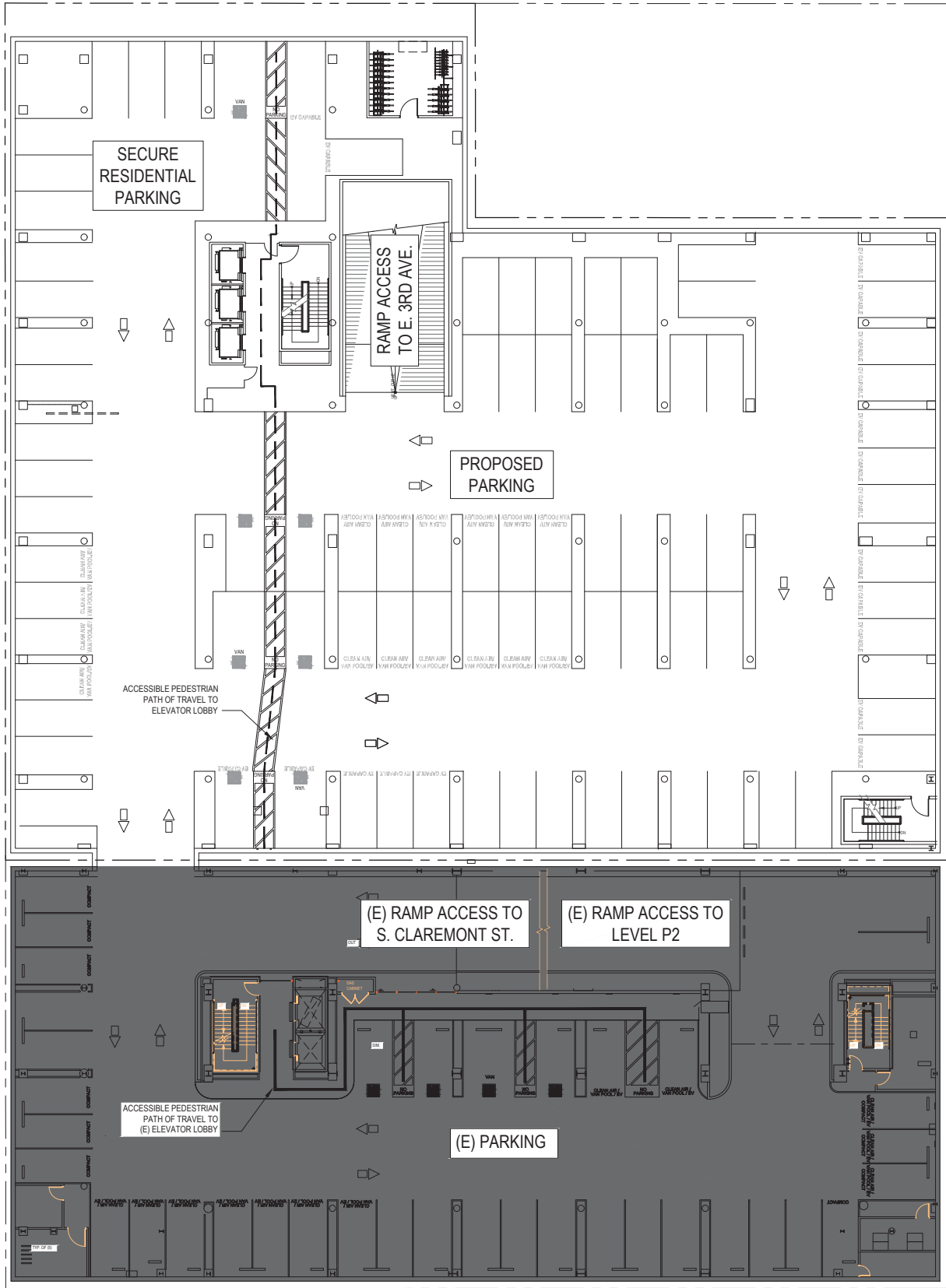
A8.21

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P2 LEVEL CIRCULATION PLAN

SCALE: 1/16" = 1'-0"



P1 LEVEL CIRCULATION PLAN

SCALE: 1/16" = 1'-0"



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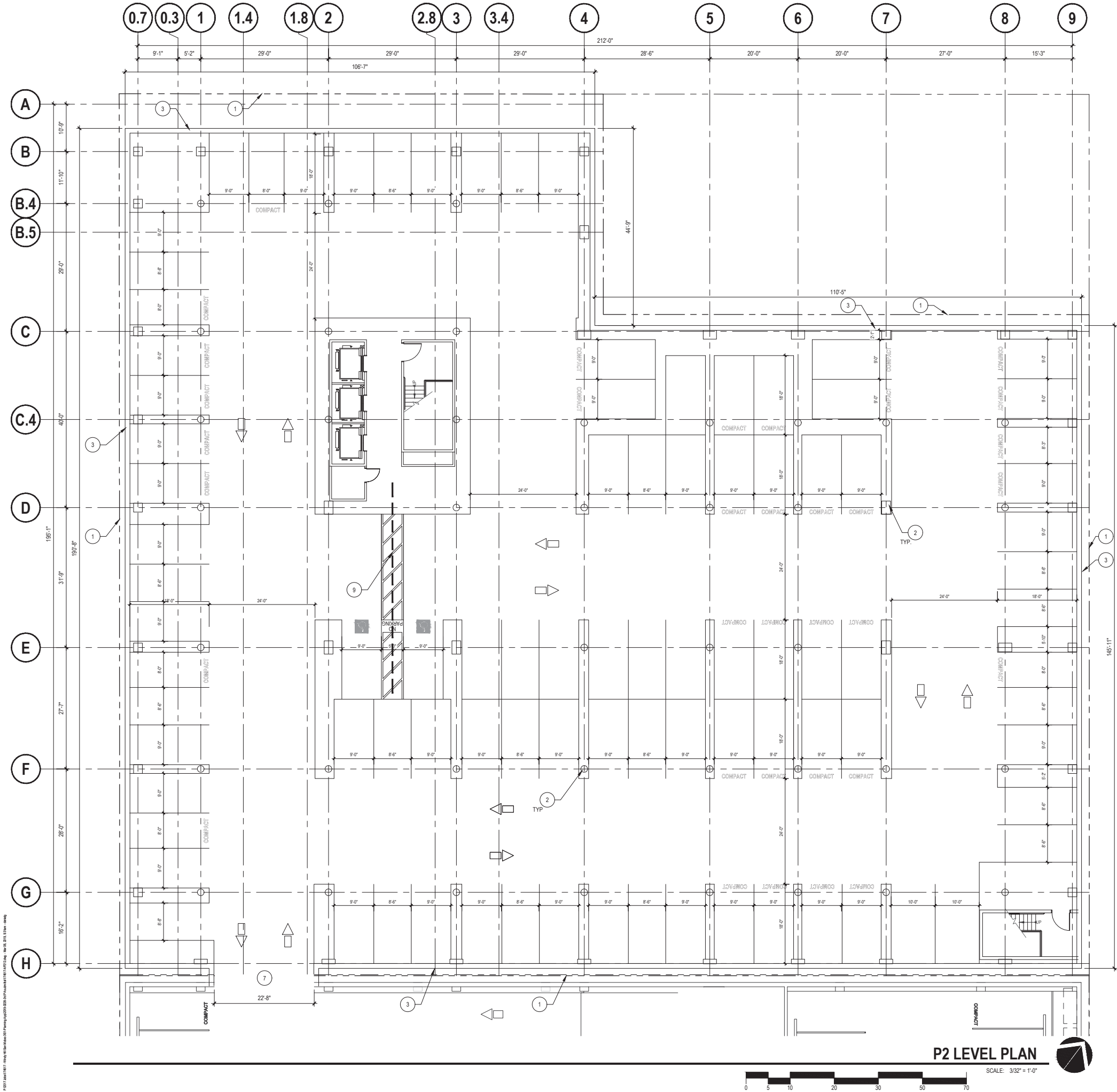
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GARAGE CIRCULATION PLANS

GA2.10

PROJECT NO: 174517



PARKING ANALYSIS

BELOW GRADE PARKING PROVIDED

P1 LEVEL

SECURE RESIDENTIAL - VAN ACCESSIBLE	1 SPACE
SECURE RESIDENTIAL - STANDARD	6 SPACES
SECURE RESIDENTIAL - COMPACT	6 SPACES
ACCESSIBLE PARKING PROVIDED	3 SPACES
VAN ACCESSIBLE PARKING PROVIDED	1 SPACES
STANDARD PARKING PROVIDED	38 SPACES
COMPACT PARKING PROVIDED	25 SPACES
STANDARD TANDEM PARKING PROVIDED	3 SPACES
COMPACT TANDEM PARKING PROVIDED	2 SPACES
EV CAPABLE ACCESSIBLE PROVIDED	1 SPACE
EV CAPABLE VAN ACCESSIBLE PROVIDED	1 SPACE

P2 LEVEL

ACCESSIBLE PARKING PROVIDED	2 SPACES
STANDARD PARKING PROVIDED	53 SPACES
COMPACT PARKING PROVIDED	31 SPACES
STANDARD TANDEM PARKING PROVIDED	1 SPACE
COMPACT TANDEM PARKING PROVIDED	2 SPACES

TOTAL PARKING PROVIDED

176 SPACES

*COMPACT STALLS ALLOWABLE = 40% OF 176

COMPACT STALLS PROVIDED	71 SPACES
OFFICE CLEAN AIR/CARPOOL/EV SPACES PROVIDED PER CALGREEN 5.106.5.2	66 SPACES
OFFICE EV CAPABLE STANDARD SPACES PER SMMC 23.70.040	16 SPACES
OFFICE EV CHARGING VAN ACCESSIBLE SPACES PER CBC 11B-228.3.2.1	15 SPACES
OFFICE EV CHARGING STANDARD ACCESSIBLE SPACES PER CBC 11B-228.3.2.1	1 SPACES
RESIDENTIAL EV CAPABLE STANDARD SPACES PER SMMC 23.70.030	1 SPACES
	2 SPACES

STREET PARKING (EXISTING + 8 SPACES, PROPOSED = 8 SPACES)

STANDARD STREET PARKING PROVIDED

8 SPACES

AUTOMOBILE PARKING STALL DIMENSIONS

(SECTION 27.64.120)

REQUIRED NUMBER OF ACCESSIBLE

PARKING STALLS (CBC TABLE 11B-208.2)

STALL TYPE	WIDTH	DEPTH	AISLE	COMPLIANT	TOTAL PARKING SPACES	MINIMUM REQUIRED	COMPLIANT
STANDARD	8'-6"	18'-0"	24'-0"	YES	151-200	6	
COMPACT	8'-0"	17'-0"	22'-6"	YES			

KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- PROPERTY LINE
- CONCRETE COLUMN
- CAST-IN-PLACE CONCRETE WALLS
- CONCRETE RAMP
- CONCRETE CURB
- LONG-TERM SECURE BICYCLE PARKING WITH DESIGNATED MAINTENANCE AREA; SEE A1.01 FOR BICYCLE PARKING CALCULATIONS
- CONNECTION TO EXISTING PERMITTED BUILDING BELOW GRADE PARKING; RAMP FROM P1 TO P2 LEVEL OCCURS IN EXISTING PERMITTED BUILDING ON ADJACENT PROPERTY DURING THE CONSTRUCTION DOCUMENT PHASE. A FULL AMMR FOR THE CONNECTION BETWEEN THE PARCELS WILL BE DEVELOPED IN CONJUNCTION WITH THE CITY BUILDING DEPARTMENT AND FIRE DEPARTMENT FOR REVIEW AND APPROVAL. THIS WILL INCLUDE MEASURES TO ADDRESS SMOKE, FIRE, AND REQUIRED SEPARATION. AT THE PLANNING STAGES, WE ARE PROPOSING THE INSTALLATION OF A 90-MINUTE RATED ROLLING SHUTTER ON EACH SIDE OF THE OPENING TO PROVIDE A 3-HOUR RATED BARRIER BETWEEN THE TWO AREAS OF THE PARKING GARAGE WHEN THE SHUTTERS ARE CLOSED. THE BUILDING CODE REQUIRES THAT A THE EXTERIOR WALL OF A TYPE S-2 BUILDING THAT HAS A WALL OF LESS THAN 5 FEET FROM THE PROPERTY LINE HAS A 2-HOUR RATING. THE DOORS WOULD CLOSE IN THE EVENT OF A FIRE ALARM OR IF THE AUTOMATIC SPRINKLERS WERE ACTIVATED ON EITHER SIDE OF THE DOOR.
- ELECTRONICALLY OPERATED SLIDING GATE AND FENCE ENCLOSURE FOR SECURE PARKING
- ACCESSIBLE PATH OF TRAVEL PER CBC 11B-402, SHOWN DASHED
- OVERHEAD EV CHARGER WITH WALL MOUNTED CONTROL, SHOWN DASHED; SEE GA.12 FOR ADDITIONAL INFORMATION

Introduction to Model 3722 RVSE Unit

The Model 3722 Electric Vehicle Supply Equipment (EVSE) is a ceiling-mounted EVSE with integrated cable management. This unit complies with the 2014 NFPA 700 code for supplying electric power to a 120V receptacle electric vehicle (EV). The Model 3722 covers the power cable safely out of reach and off the ground, eliminating a tripping hazard and keeping the cable out of weather-related conditions. When the Model 3722 is installed, the cable and connector leave the wall or ceiling, travel through a weather-resistant, enclosed, and protected pathway, and then exit the unit to the vehicle. The cable and connector leave the wall or ceiling, travel through a weather-resistant, enclosed, and protected pathway, and then exit the unit to the vehicle. The cable and connector leave the wall or ceiling, travel through a weather-resistant, enclosed, and protected pathway, and then exit the unit to the vehicle.

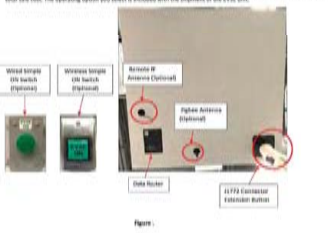


Figure 1

Product Description

The Model 3722 Figure 1B is a single EVSE unit designed to be installed in a garage setting in a business setting. Contact power lines back to the main breaker to the electrical service panel. The unit is installed with a 120V power cable, power controller, safety device and cable management after installation, it is housed in weather-resistant enclosure. The Model 3722 is designed as a complete unit requiring a hardwired connection to the unit, install weight and make final wiring connections for power.

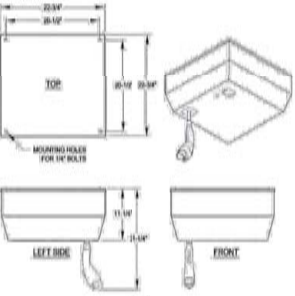


Figure 2

Size Selection

The Model 3722 was designed to be installed at ceiling heights of 8 to 10 feet above the floor and should be positioned, if possible, so that when the EVSE power controller is released, it will be clear to the power inlet on the electric vehicle. This location is recommended because the cable, after releasing, will move at 90° to the electric vehicle. It is also recommended that the cable leave the enclosure vertically to make it easier to access the power cable and prevent the power controller from being the vehicle.

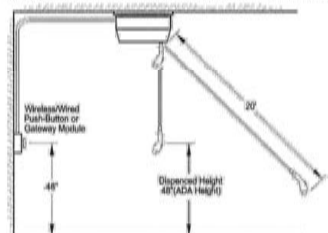


Figure 3

Figure 4A

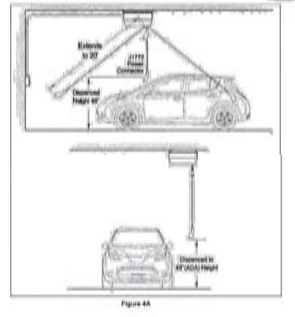


Figure 4A

A Planning Application for:

WINDY HILL PROPERTY VENTURES

**3RD AVENUE & RAILROAD AVENUE
SAN MATEO, CA 94401**

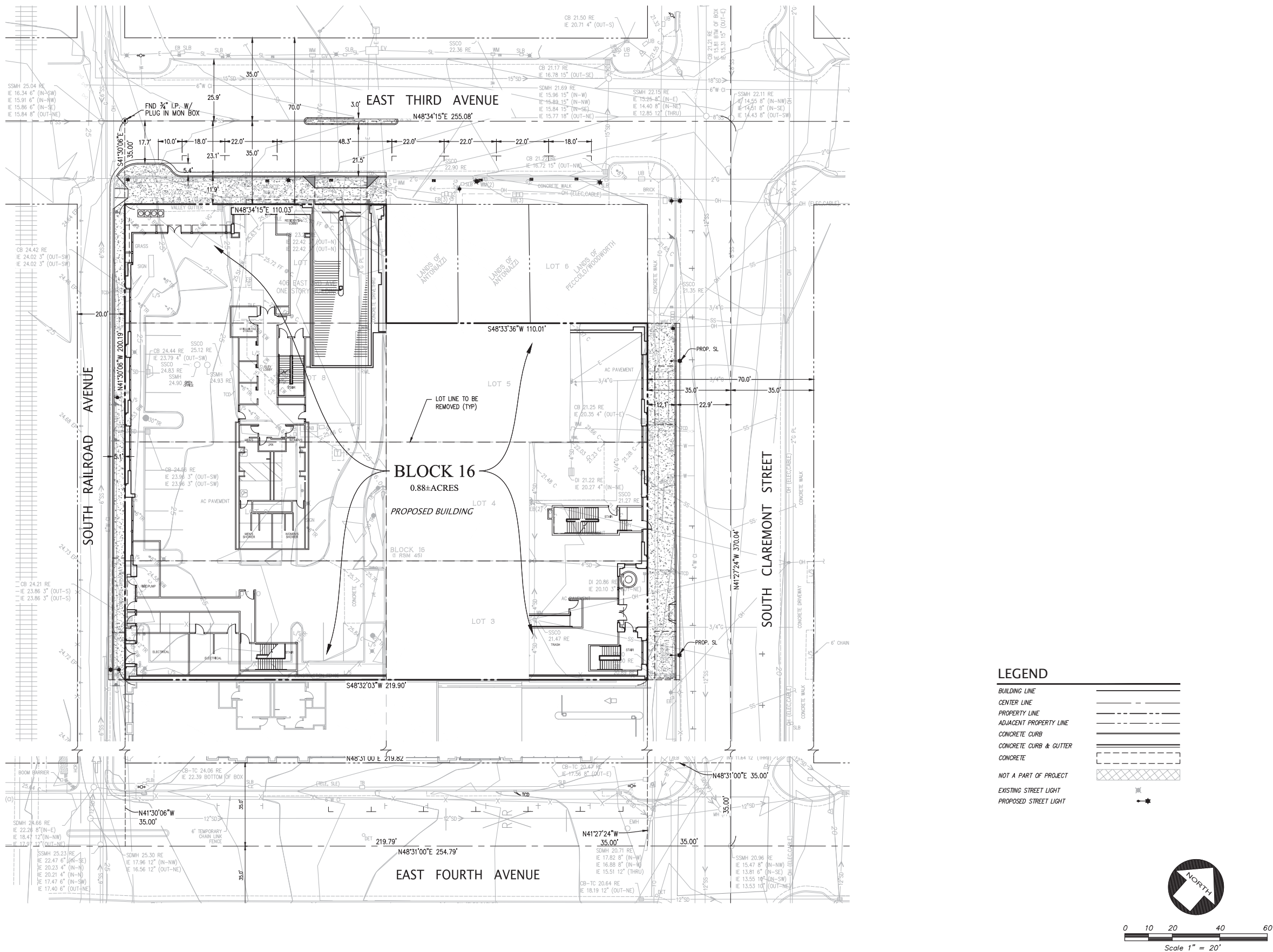
DATE	DESCRIPTION
03.14.18	PRELIM. PLANNING SUBMITTAL
08.27.18	PLANNING SUBMITTAL
10.31.18	PLANNING RESUBMITTAL
02.28.19	PLANNING RESUBMITTAL
04.11.19	PLANNING RESUBMITTAL

P2 LEVEL PLAN

GA2.12

PROJECT NO: 174517

DATE	DESCRIPTION
03.14.18	PRELIM. PLANNING SUBMITTAL
08.27.18	PLANNING SUBMITTAL
10.31.18	PLANNING RESUBMITTAL
02.28.19	PLANNING RESUBMITTAL
04.11.19	PLANNING RESUBMITTAL





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

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In Association with:

A Planning Application for:
WINDY HILL PROPERTY VENTURES
3RD AVENUE & RAILROAD AVENUE
SAN MATEO, CA 94401

A Planning Application for:



	DMA LIMITS
	LANDSCAPE AREA
	IMPERVIOUS ROOFTOP DRAINING TO MFS
	IMPERVIOUS PAVEMENT
	TRIBUTARY AREA # TRIBUTARY AREA (ACRES)
DMA	DRAINAGE MANAGEMENT AREA
TCM	TREATMENT CONTROL MEASURE
MFS	MEDIA FILTRATION SYSTEM

PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE			
a. Project Phase Number (N/A, 1, 2, 3, etc.):	N/A	b. Total Site (acres):	0.880
c. Total Site Existing Impervious Surfaces (square feet):	38,516	d. Total Area of Site Disturbed (acres):	0.880

	Existing Condition of Site Area Disturbed (square feet)	Proposed Condition of Site Area Disturbed (square feet)	
		Replaced ^d	New ^e
e. Impervious Surfaces			
Roof Area(s)	13,016	13,016	6,385
Parking	17,957	17,957	0
Sidewalks, Patios, Driveways, etc.	1,158	1,158	0
Streets (public)	0	0	0
Streets (private)	0	0	0
Total Impervious Surfaces:	e.1: 32,131	e.2: 32,131	e.3: 6,385
f. Pervious Surfaces			
Landscaped Areas	6,385	0	0
Pervious Paving	0	0	0
Other Pervious Surfaces (green roof, etc.)	0	0	0
Total Pervious Surfaces:	f.1: 6,385	f.2: 0	f.3: 0

g. Total Proposed Replaced + New Impervious Surfaces (e.2 + e.3):	38,516
h. Total Proposed Replaced + New Pervious Surfaces (f.2 + f.3):	0

i. Percent of Replacement of Impervious Area in redevelopment projects (e.2 ÷ c x 100):	83%
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Table Footnotes:
 *Proposed Replaced Impervious Surface: All impervious surfaces added to any area of the site that was a previously existing impervious surface
 *Proposed New Impervious Surface: All impervious surfaces added to any area of the site that was a previously existing pervious surface.

TREATMENT CONTROL MEASURE SUMMARY TABLE											
DMA#	TCM #	TREATMENT TYPE	DRAINAGE AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	TREATMENT FLOWRATE REQUIRED (CFS)	TREATMENT FLOWRATE CAPACITY (CFS)	# of Cartridges Required	# of Cartridges Provided	Media Type	Cartridge Height (inches)
DMA 01	TCM 01	MFS UNIT	20,441	20,441	0	0.08	0.09	4	4	PERK FILTER	18"
DMA 02	TCM 02	MFS UNIT	18,075	18,075	0	0.07	0.09	4	4	PERK FILTER	18"
Totals:			38,516								

SITE DESIGN MEASURES

1. PARKING ON TOP OF OR UNDER BUILDING.

SOURCE CONTROL MEASURES

1. MAINTENANCE (PAVEMENT SWEEPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING).
2. STORM DRAIN LABELING
3. INTERIOR PARKING STRUCTURES

