Att 8 - Project Plans (PA-2018-043)

A Planning Application For: WINDY HILL PROPERTY VENTURES

3RD AVENUE & RAILROAD AVENUE SAN MATEO, CA 94401

DRAWING INDEX AND ISSUE DATES

SINCE PREVIOUS ISSUE

MODIFICATIONS SINCE PREVIOUS ISSUE

COVER SHEET

ARCHI	TECTURAL	
A0.01 A0.02 A0.03 A0.04 A0.05 A0.10	NEIGHBORHOOD CONTEXT RENDERINGS RENDERINGS RENDERINGS RENDERINGS RENDERINGS SOLAR/SHADOW STUDY	***
A0.11 A0.12 A0.13	CODE AND OCCUPANT EXITING PLANS CODE AND OCCUPANT EXITING PLANS CODE AND OCCUPANT EXITING PLANS	• ‡ ‡
A0.21 A0.22 A0.23	PLANNING DEPARTMENT AREA CALCULATIONS PLANNING DEPARTMENT AREA CALCULATIONS SITE OPEN SPACE AREA PLAN	‡ ‡‡‡‡
A1.00 A1.01 E5.0 E5.1 E5.2	DEMOLITION SITE PLAN SITE PLAN PARKING LEVEL P2 - PHOTOMETRIC PLAN PARKING LEVEL P1 - PHOTOMETRIC PLAN PARKING LEVEL P2 - PHOTOMETRIC PLAN EMERGENCY LIGHTING	*
E5.3 E5.4	PARKING LEVEL P1 - PHOTOMETRIC PLAN EMERGENCY LIGHTING SITE PLAN - PHOTOMETRIC PLAN	• •
A2.11 A2.12 A2.13 A2.14 A2.31 A2.51	FIRST FLOOR PLAN SECOND FLOOR PLAN THIRD FLOOR PLAN FOURTH FLOOR PLAN ROOP FLAN ENLARGED PLANS	
A3.01 A3.02	EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS	:
A4.01	BUILDING SECTIONS	• • + •
A8.21	DETAILS	• • •
GA2.10 GA2.11 GA2.12	GARAGE CIRCULATION PLANS P1 LEVEL PLAN P2 LEVEL PLAN	: : : : :

LANDSCAPE

LU.1	PRELIMINARY LANDSCAPE PLAN
L0.2	PRELIMINARY LANDSCAPE PLAN

C1.0	TENTATIVE PARCEL MAP - EXISTING CONDITIONS PLAN	•
C1.1	TENTATIVE PARCEL MAP - PROPOSED CONDITIONS PLAN	•
C2.0	PRELIMINARY GRADING, DRAINAGE AND UTILITIES PLAN	•
C3.0	PRELIMINARY STORMWATER QUALITY CONTROL PLAN	
C3.1	PRELIMINARY STORMWATER QUALITY CONTROL NOTES,	•
	DETAILS & CALCULATIONS	
C3.2	PRELIMINARY LOW IMPACT DEVELOPMENT REDUCTION	
	CALCULATION	

:: : : :

VICINITY MAP



APPLICABLE CODES

2016 CALIFORNIA BUELDING CODE (CCR TITLE 24, PART 2) 2016 CALIFORNIA MECHANICAL CODE (CCR TITLE 24, PART 4) 2016 CALIFORNIA MECHANICAL CODE (CCR TITLE 24, PART 4) 2016 CALIFORNIA PLUMBING CODE (CCR TITLE 24, PART 5) 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CCR TITLE 24, PART 11) ALL CODES ARE SUBJECT TO LOCAL GOVERNMENT AMENDMENTS PER CALIFORNIA BUILDING STANDARDS COMMISSION BULLETIN 10-03.

WINDY HILL

PROJECT TEAM

OWNER: WINDY HILL PROPERTY VENTURES ARCHITECT ARC TEC INC.

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KLA, INC. 151 N. Norlin Street Sonora, CA 95370 PHONE: 209.532.2856 CONTACT: Tom Holloway EMAIL: tom@kla-ca.con

CIVIL ENGINEER:

KIER & WRIGHT
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Santa Clara, CA 95054
PHONE: 40.272.6665
CONTACT: Mark Knudsen
EMAIL: mknudsen@kierwright.com

PROJECT DATA

OWNER NAME: WINDY HILL PROPERTY VENTURES PROJECT ADDRESS 3RD AVENUE & RAILROAD AVENUE SAN MATEO, CA 94401

BUILDING AREA, OFFICE: 103,731 S.F.

TOTAL RESIDENTIAL UNITS: 25 UNITS

NUMBER OF STORIES: 4

CONSTRUCTION TYPE: 1-B

FIRE SPRINKLERS: YES

OCCUPANCY TYPE: 5-2, B, R-2

PROJECT DESCRIPTION

THIS IS A NEW 119,605-S.F. 4-STORY OFFICE AND 25-UNIT RESIDENTIAL BUILDING ON A 38,516 SF LOT. SCOPE OF WORK SHALL INCLUDE THE CONSTRUCTION OF THE BUILDING SHELL AND CORE AS WELL AS SITE IMPROVEMENTS SUCH AS SIDEWALKS, CURB/GUTTER, BICYCLE RACKS, STREET TREES, ETC



2000 E. Northern Avent Bulleting C Phoents, AZ 20020 602,550,2955 E 602,550,2000 T

Planning Application ER OP

PR







COMMERCIAL BUILDING



COMMERCIAL BUILDING



COMMERCIAL BUILDING



COMMERCIAL BUILDING



COMMERCIAL BUILDING



GAS STATION AND AUTO REPAIR



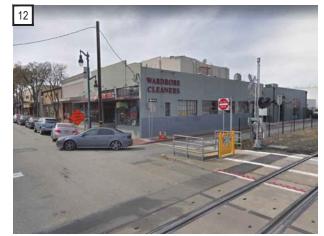
ARC TEC

A0.01

PROJECT NO:



COMMERCIAL BUILDING



COMMERCIAL BUILDING





COMMERCIAL BUILDING



REFERENCE SITE PLAN

RESIDENTIAL BUILDING

VIEW FROM S. CLAREMONT STREET AND E. 3RD AVENUE



VIEW FROM S. RAILROAD AVENUE AND E. 3RD AVENUE 2

VIEW FROM S. CLAREMONT STREET

REFERENCE SITE PLAN

BUILDING FOOTPRINT

E. 3RD AVENUE

A0.02PROJECT NO: 174517

A0.03

VIEW FROM S. CLAREMONT STREET 2





E. 3RD AVENUE

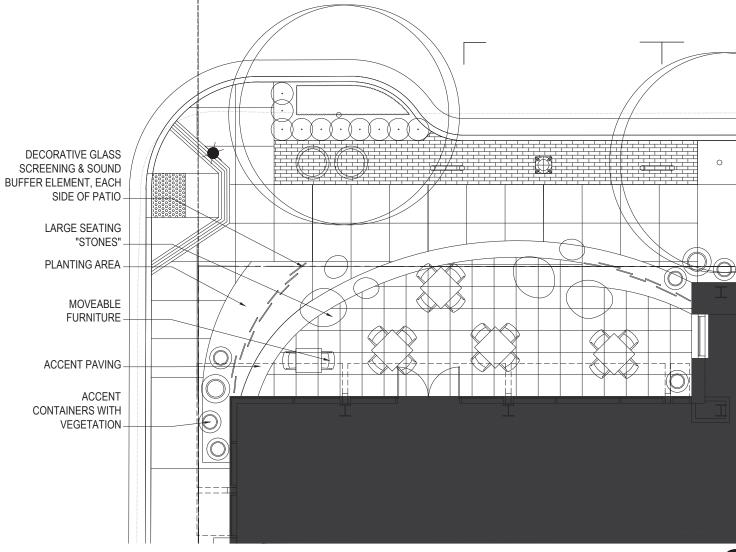
BUILDING FOOTPRINT

S. RAILROAD AVENUE



REFERENCE SITE PLAN





OPEN SPACE @ S. RAILROAD AVENUE AND E. 3RD AVENUE PLAN

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SAN MATEO, CA 94401

RESIDENTAIL **BALCONY GLASS GUARDRAIL**

OFFICE BALCONY CABLE RAIL **GUARDRAIL**

DECORATIVE GLASS

MOVEABLE FURNITURE -

LARGE SEATING "STONES"

PLANTING AREA

CONTAINERS WITH

ACCENT

VEGETATION

SCREENING & SOUND BUFFER ELEMENT, EACH SIDE OF PATIO

MOVEABLE **FURNITURE**

DECORATIVE GLASS SCREENING & SOUND BUFFER ELEMENT, EACH SIDE OF PATIO

> LARGE SEATING "STONES"

ACCENT

VIEW FROM S. RAILROAD AVENUE AND E. 3RD AVENUE

A0.04

PROJECT NO:

VIEW FROM S. RAILROAD AVENUE AND E. 3RD AVENUE 2

ACCENT PAVING -

PLANTING AREA

CONTAINERS WITH VEGETATION







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SAN MATEO, CA 94401



Spring Equinox-4:00 pm



Summer Solistice-4:00 pm



Autumn Equinox-4:00 pm



Winter Solistice-4:00 pm





Spring Equinox-12:00 pm



Summer Solistice-12:00 pm



Autumn Equinox-12:00 pm



Winter Solistice-12:00 pm



Spring Equinox-9:00 am



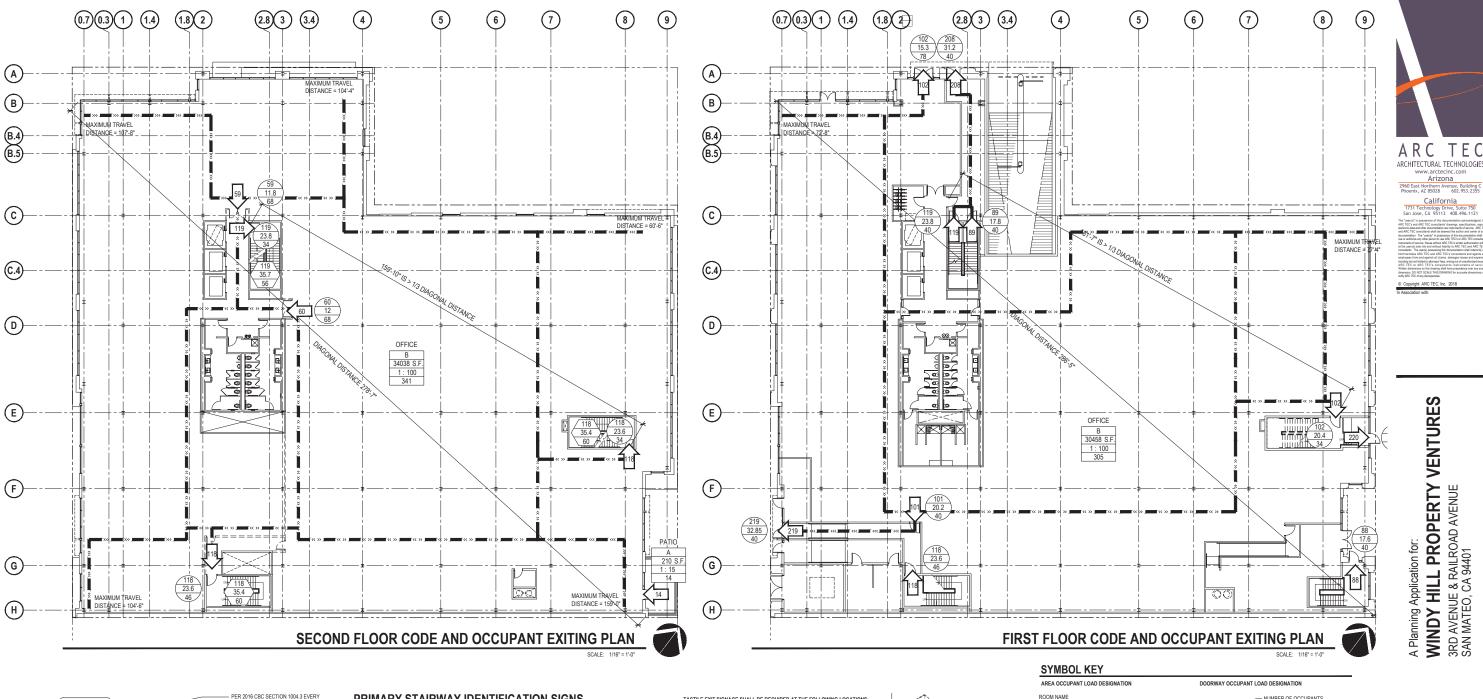
Summer Solistice-9:00 am



Autumn Equinox-9:00 am

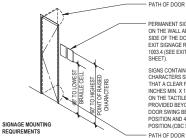


Winter Solistice-9:00 am





ASSEMBLY, CLASSROOM, DINING, DRINKING OR SIMILAR PURPOSES HAVING AN OCCUPANT LOAD OF 50 OR MORE SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A ONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT.



PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR AND ADJACENT TO EXIT SIGNAGE REQUIRED BY SECTION 1003.4 (SEE EXIT SIGN DETAIL, THIS SHEET).

ROOM OR SPACE WHICH IS USED FOR

SIGNS CONTAINING TACTILE
CHARACTERS SHALL BE LOCATED SO
THAT A CLEAR FLOOR SPACE OF 18
INCHES MIN. X 18 INCHES MIN., CENTERED
ON THE TACTILE CHARACTERS, IS
PROVIDED BEYOND THE ARC OF ANY
DOOR SWING BETWEEN THE CLOSED
POSITION AND 55 DEGREE OPEN
POSITION (CBC SECTION 118-703.4.2) PATH OF DOOR

SCALE: 1'= "A"

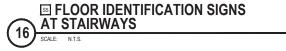
PRIMARY STAIRWAY IDENTIFICATION SIGNS

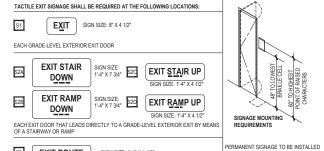


SECONDARY STAIRWAY IDENTIFICATION SIGNS



CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND, WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.





S3 EXIT ROUTE SIGN SIZE: 1'-4" X 4 1/2" EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE THAT DOES NOT UTILIZE A STAIR OR RAMP, OR BY MEANS OF

EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN RAISED CHARACTER AND BRAILLE EXIT SIGNS SHALL COMPLY WITH CHAPTER 11B. SECTIONS 11B-703.1, 11B-703.2, 11B-703.3 AND 11B-703.5. REFER TO DRAWING A0.05 FOR THE TEXT OF THESE SECTIONS.

TEXT SHOWN IN EXIT SIGNAGE DETAILS IS 1 $3.4^{\rm o}$ HIGH. TEXT SHALL BE 5/8 $^{\rm o}$ MINIMUM AND 2 $^{\rm o}$ MAXIMUM IN HEIGHT.

EXIT SIGNAGE REQUIREMENTS OF SECTION 1011.3 - TACTILE EXIT SIGNAGE

SIGNS CONTAINING TACTILE CHARACTERS SHALL BE LOCATED SO THATA TACLER FLOOR SPACE OF 18 INCHES MIN. X 18 INCHES MIN. CENTERED ON THE TACTILE CHARACTERS, IS PROVIDED BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION AND 45 DEGREE OPEN

S5 REFER TO FLOOR IDENTIFICATION SIGNAGE AND/OR ROOM OCCUPANCY SIGNAGE DETAILS AS APPLICABLE

AREA OCCUPANT LOAD DESIGNATION	DOORWAY OCCUPANT LOAD DESIGNATION
ROOM NAME B OCCUPANCY CLASSIFICATION OF THE SPACE 12.444 S.F SQUARE FOOTAGE 1: 100 OCCUPANT LOAD FACTOR - NUMBER OF OCCUPANTS	NUMBER OF OCCUPANTS EXIT WIDTH REQUIRED EXIT WIDTH PROVIDED
STAIRWAY OCCUPANT LOAD DESIGNATION	PATH OF TRAVEL DESIGNATION
NUMBER OF OCCUPANTS 30.6 STAIR WIDTH REQUIRED (INCHES) 60 STAIR WIDTH PROVIDED (INCHES)	EXIT IN ONE DIRECTION EXIT IN BOTH DIRECTIONS
DIRECTION OF EGRESS/OCCUPANT LOAD DESIGNATION	FIRE EXTINGUISHERS AND FIRE HOSES
DIRECTION OF EGRESS OCCUPANT LOAD	F.E. FIRE EXTINGUISHER BRACKET-MOUNTED
EXIT SIGNAGE DESIGNATION	RATED SEPARATION DESIGNATION
SIGN FACE DIRECTION	1-HOUR RATED FIRE SEPARATION

EXITING WIDTH TABULATIONS

-DIRECTION OF TRAVEL

2-HOUR RATED FIRE SEPARATION

EXITING WIDTH TABULATIONS

EXIT WIDTH REQUIRED IS 0.3" PER PERSON FOR STAIRS AND 0.2" PER DOORS AND OTHER EXIT ELEMENTS, PER CBC SECTION

CODE AND OCCUPANT EXITING PLAN

Arizona

California 1731 Technology Drive, Suite 7 San Jose, CA 95113 408.496.1

g Application for:

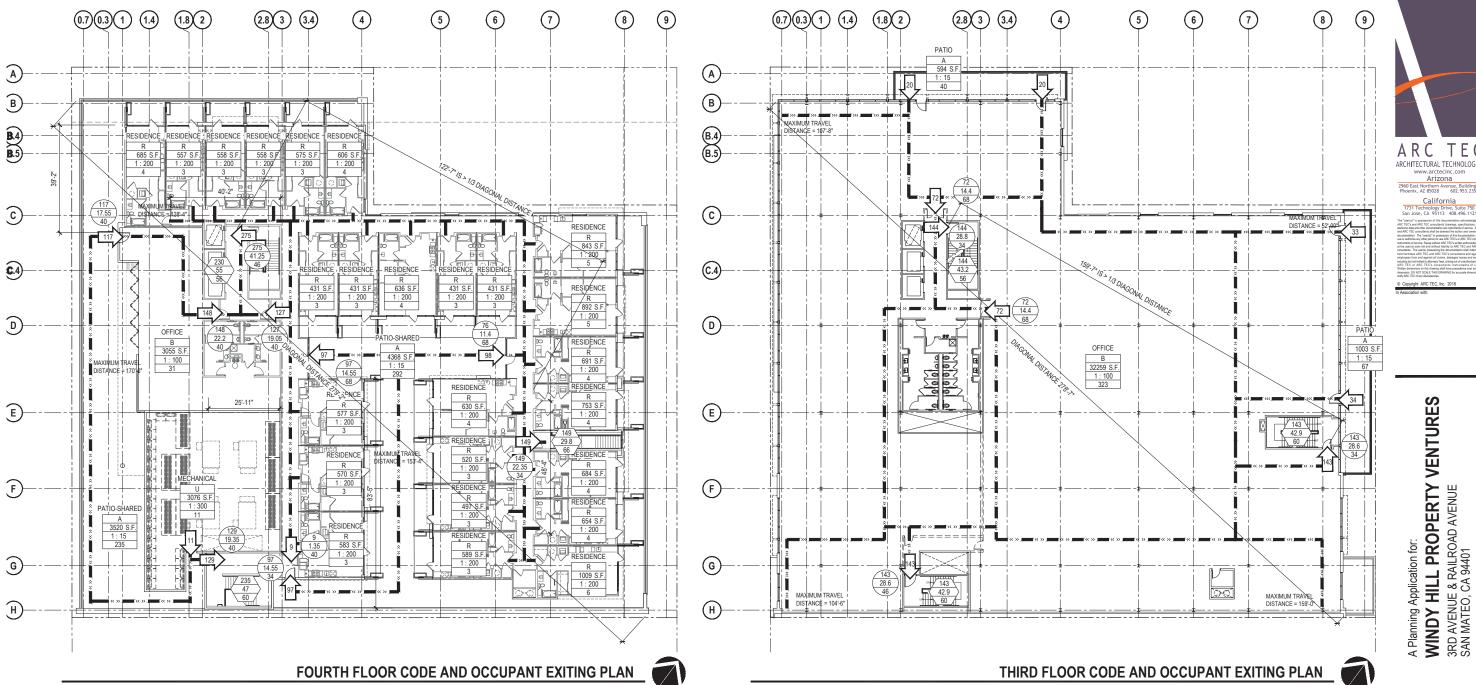
Y HILL PROPERTY VENTURES
INUE & RAILROAD AVENUE
TEO, CA 94401

A Planning App WINDY HI 3RD AVENUE SAN MATEO, C

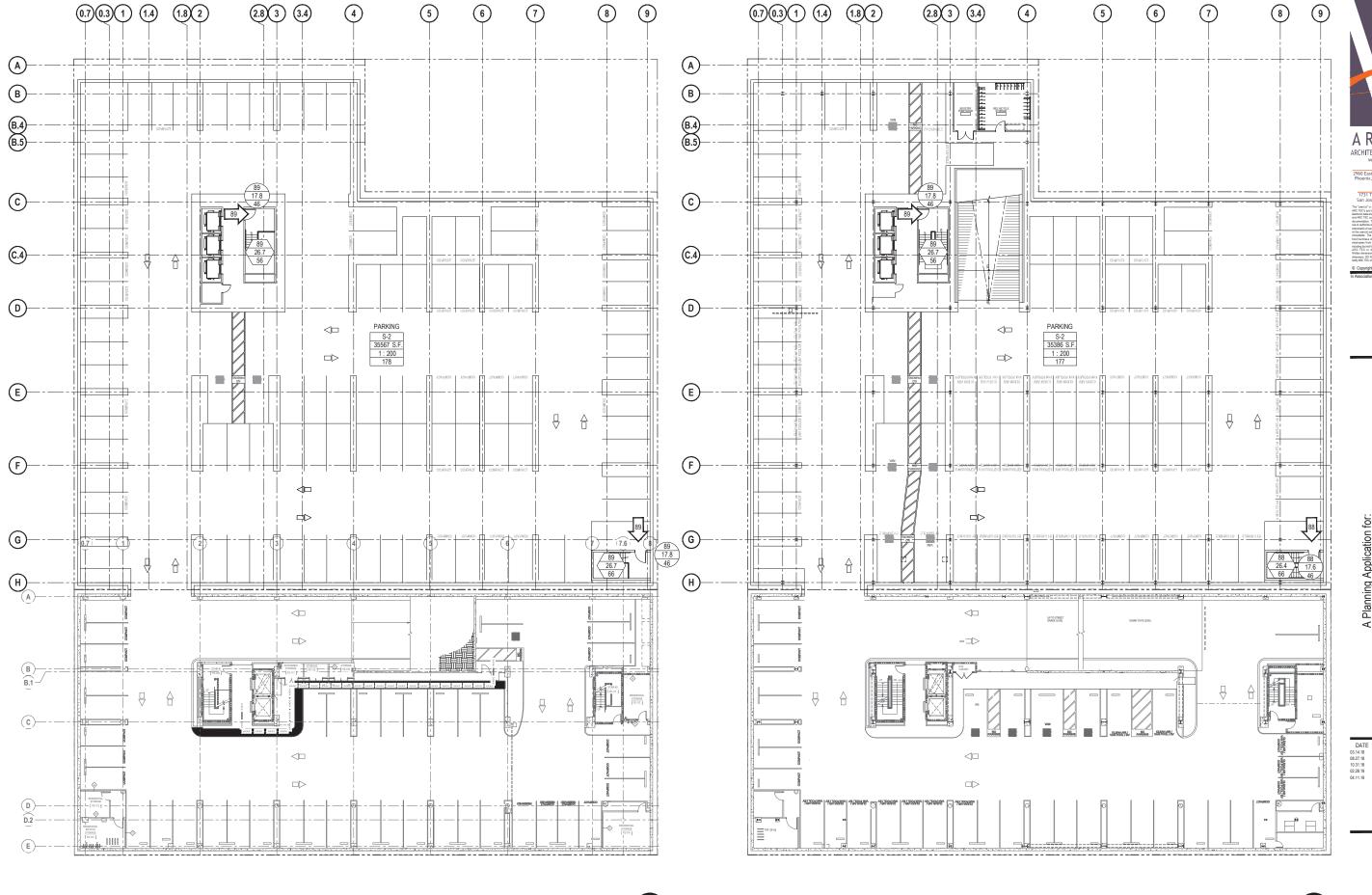
DESCRIPTION
PRELIM. PLANNING SUBMITTAL
PLANNING SUBMITTAL
PLANNING RESUBMITTAL

A Plan

A0.11 PROJECT NO:



CODE AND OCCUPANT EXITING PLAN



P2 LEVEL CODE AND OCCUPANT EXITING PLAN

A Planning Application for:

WINDY HILL PROPERTY VENTURES

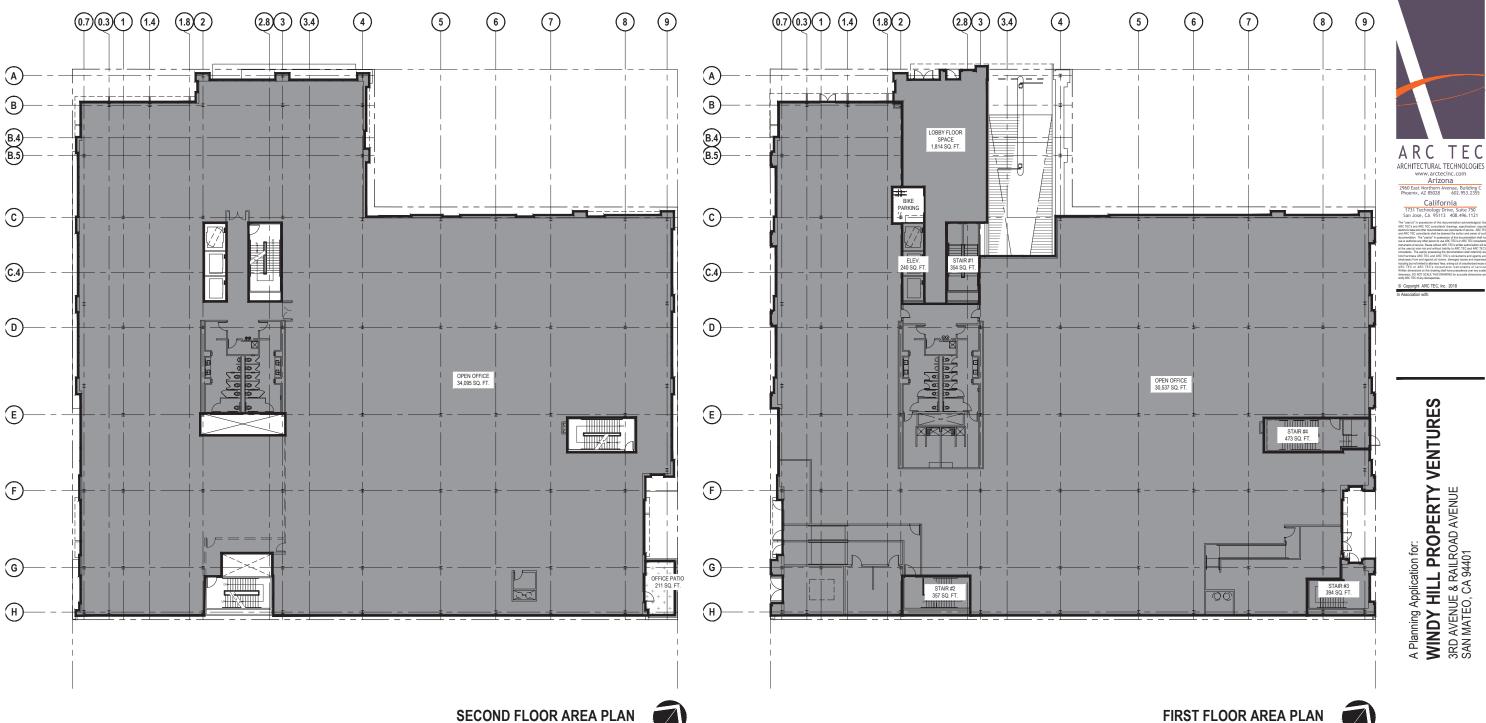
3RD AVENUE & RAILROAD AVENUE
SAN MATEO, CA 94401

DESCRIPTION
PRELIM PLANNING SUBMITTAL
PLANNING SUBMITTAL
PLANNING RESUBMITTAL
PLANNING RESUBMITTAL
PLANNING RESUBMITTAL

P1 LEVEL CODE AND OCCUPANT EXITING PLAN



CODE AND OCCUPANT EXITING PLAN



FIRST FLOOR AREA PLAN

FLOOR AREA*

FIRST LEVEL AREAS (OFFICE)

TOTAL:	34,169 SQ. FT.
ELEVATOR	240 SQ. FT.
STAIR #4	473 SQ. FT.
STAIR #3	394 SQ. FT.
STAIR #2	357 SQ. FT.
STAIR #1	354 SQ. FT.
LOBBY FLOOR SPACE	1,814 SQ. FT.
OPEN OFFICE FLOOR SPACE	30,537 SQ. FT.

SECOND LEVEL AREAS (OFFICE)

OPEN OFFICE FLOOR SPACE 34,095 SQ. FT.

THIRD LEVEL AREAS (OFFICE)

OPEN OFFICE FLOOR SPACE 32,400 SQ. FT.

FOURTH LEVEL AREAS (OFFICE)

OPEN OFFICE FLOOR SPACE	3,067 SQ. FT.
RESIDENCE FLOOR SPACE	13,301 SQ. FT.
RESIDENTIAL CIRCULATION	2,573 SQ. FT.

103.731 SQ. FT. GROSS OFFICE FLOOR AREA: GROSS BUILDING FLOOR AREA: 119,605 SQ, FT. *PER San Mateo Municipal Code 27.04.200 (b) Measurement, other than

single-family dwellings in r1 zoning districts.

(1) Floor area is measured from the exterior façade of the building's wall planes, from the centerline of party walls, or from a line three feet from the edge of an eave, whichever produces the largest floor area. Stories exceeding 15 feet in height shall be counted as additional floor area, with the exception that ground floor retail may be up to 18 feet in height measured from first finish floor to second finish floor before being counted as additional floor area. Floor area also includes all accessory structures on the site and basements that meet the definition in subsection (c)(5). (2) Exclusions. The following are not counted as floor area:

(A) Covered or open courts, and atriums, on the ground floor, provided that the area is not used as dwelling, office, retailing, or required access; (B) in multiple-level buildings, covered courts, if the retailing uses are open to the public. Multiple-level stainvells and elevators shall be counted only as ground floor area;
(C) Covered walkways and balconies;

(D) First floors, mechanical areas, penthouse, and top floors are counted only once as floor area, regardless of height;
(E) Bicycle parking facilities;

(E) Dicy-te paining facilities,

(F) Floor area designated for day care centers accessory to and intended to serve a multi-family, commercial, office or manufacturing use. Such floor area may be located within the primary structure or may be in a freestanding structure accessory to the primary structure; (G) Covered parking for office use shall not be counted as floor area in areas delineated for exclusion within an adopted plan, such as the Mariner's Island Specific Plan or the Bay Meadows Specific Plan.

AREA DESIGNATION

	OFFICE - TYPE B OCCUPANCY 1 PERSON/ 100 SQ FT
	RESIDENTIAL - TYPE R OCCUPANCY 1 PERSON/ 200 SQ FT
	RESIDENTIAL SHARED PATIO - TYPE A OCCUPANO 1 PERSON/ 15 SQ FT
	RESIDENTIAL PRIVATE PATIO - TYPE R OCCUPANO 1 PERSON/ 200 SQ FT
+ +	OFFICE PATIO - TYPE A OCCUPANCY

1 PERSON/300 SQ. FT.

MECHANICAL/UTILITY SPACE - TYPE U OCCUPANCY

08.27.18 PLANNING SUBI 10.31.18 PLANNING RESUBI	DATE	DESCRIPTIO
10.31.18 PLANNING RESUBI	03.14.18	PRELIM. PLANNING SUBI
	08.27.18	PLANNING SUBI
02.28.19 PLANNING RESUBI	10.31.18	PLANNING RESUBI
	02.28.19	PLANNING RESUBI
04.11.19 PLANNING RESUBI	04.11.19	PLANNING RESUBI

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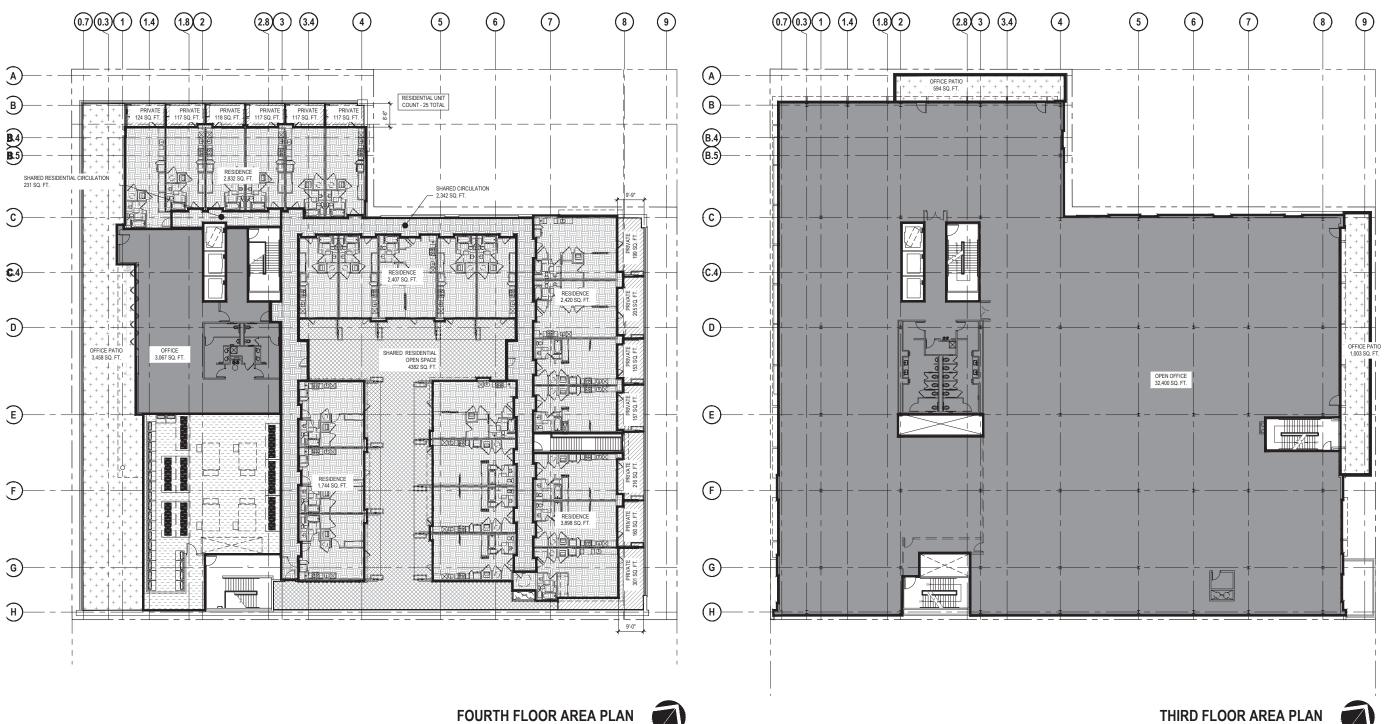
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PLANNING DEPARTMENT AREA CALCULATIONS

A0.21 PROJECT NO:



THIRD FLOOR AREA PLAN



FIRST LEVEL AREAS (OFFICE)

PEN OFFICE FLOOR SPACE	30,537 SQ. FT.
OBBY FLOOR SPACE	1,814 SQ. FT.
TAIR #1	354 SQ. FT.
TAIR #2	357 SQ. FT.
TAIR #3	394 SQ. FT.
TAIR #4	473 SQ. FT.
LEVATOR	240 SQ. FT.
OTAL:	34,169 SQ, FT,

SECOND LEVEL AREAS (OFFICE)

OPEN OFFICE FLOOR SPACE 34,095 SQ. FT.

THIRD LEVEL AREAS (OFFICE)

OPEN OFFICE FLOOR SPACE 32,400 SQ. FT.

FOURTH LEVEL AREAS (OFFICE)

EN OFFICE FLOOR SPACE	3,067 SQ. FT.
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103.731 SQ. FT. GROSS OFFICE FLOOR AREA: GROSS BUILDING FLOOR AREA: 119,605 SQ, FT. *PER San Mateo Municipal Code 27.04.200 (b) Measurement, other than

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(1) Floor area is measured from the exterior façade of the building's wall planes, from the centerline of party walls, or from a line three feet from the edge of an eave, whichever produces the largest floor area. Stories exceeding 15 feet in height shall be counted as additional floor area, with the exception that ground floor retail may be up to 18 feet in height measured from first finish floor to second finish floor before being counted as additional floor area. Floor area also includes all accessory structures on the site and basements that meet the definition in subsection (c)(5). (2) Exclusions. The following are not counted as floor area:

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OFFICE - TYPE B OCCUP
4 DEDCOM/400 CO ET

1 PERSON/ 200 SQ FT

RESIDENTIAL - TYPE R OCCUPANCY

RESIDENTIAL SHARED PATIO - TYPE A OCCUPANCY RESIDENTIAL PRIVATE PATIO - TYPE R OCCUPANCY

OFFICE PATIO - TYPE A OCCUPANCY

MECHANICAL/UTILITY SPACE - TYPE U OCCUPANCY 1 PERSON/300 SQ. FT.

DESCRIPTION
PRELIM. PLANNING SUBMITTAL
PLANNING SUBMITTAL
PLANNING RESUBMITTAL
PLANNING RESUBMITTAL

ARC TEC ARCHITECTURAL TECHNOLOGIES

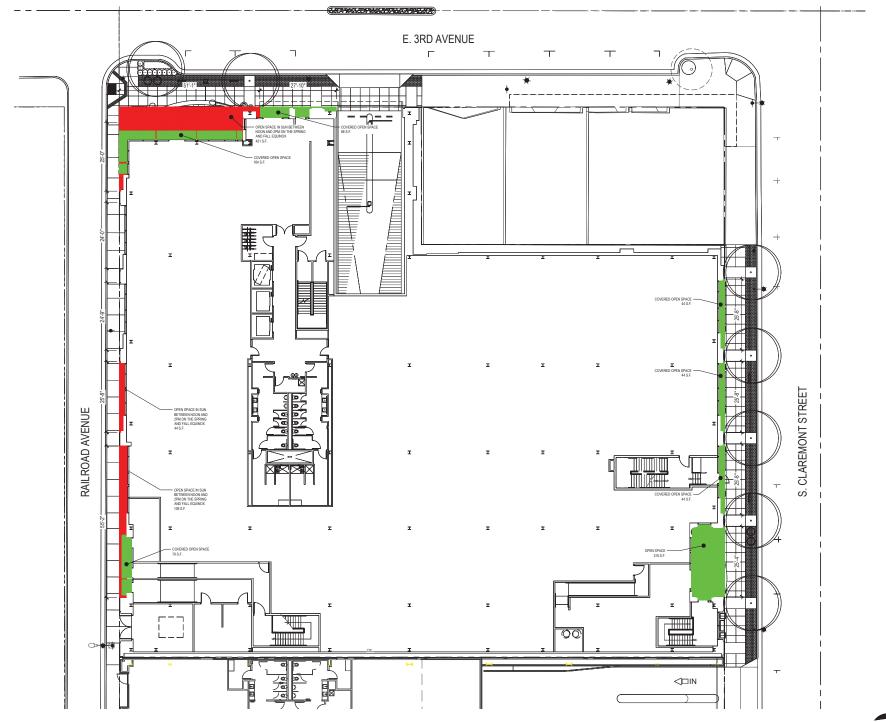
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PLANNING DEPARTMENT AREA CALCULATIONS

A0.22



SITE OPEN SPACE AREA PLAN

SCALE: 1/16'= 1'0'

PLAN 1/16" = 1'-0"

PER SMMC 27.38.090 OPEN SPACE REQUIREMENTS				
OPEN SPACE TO HAVE 25'-0" MINIMUM WIDTH			ODEN OR ACE AT CORNER OF F ORD AVE AND DAN DOAD	
TOTAL OFFICE AREA	402 724	SQ. FT.	OPEN SPACE AT CORNER OF E. 3RD AVE AND RAILROAD	AVE
TOTAL OFFICE AREA	103,731	SQ. FI.	TOTAL OPEN SPACE	585 SQ. FT.
REQUIRED -OPEN SPACE (1% OF OFFICE AREA):	1.037	SQ. FT.	TOTAL OF EN OF AGE	303 04.11.
	1,007		OPEN SPACE IN SUN BETWEEN NOON AND 2PM ON	
(50% OF REQUIRED) OPEN SPACE IN SUN BETWEEN			THE SPRING AND FALL EQUINOX PER SMMC 27.38.090	421 SQ. FT.
NOON AND 2PM ON				
THE SPRING AND FALL EQUINOX PER SMMC 27.38.090	519	SQ. FT.		
PROVIDED OPEN SPACE IN SUN BETWEEN NOON AND	2PM			
ON THE SPRING AND FALL EQUINOX PER SMMC 27.38.	090: 574	SQ. FT.	OPEN SPACE LEGEND	_
PROVIDED ABOVE REQUIREMENT OPEN SPACE IN SUI			COVERED OPEN SPACE	
BETWEEN NOON AND 2PM ON				
THE SPRING AND FALL EQUINOX PER SMMC 27.38.090	46	SQ. FT.		
		_	OPEN SPACE IN SUN BETWEEN NOON AND 2P	M ON
PROVIDED TOTAL OPEN SPACE (1.3% OF OFFICE AREA		SQ. FT.	THE SPRING AND FALL EQUINOX PER SMMC 2	7.38.090
PROVIDED ABOVE REQUIREMENT OPEN SPACE:	281	SQ. FT.		

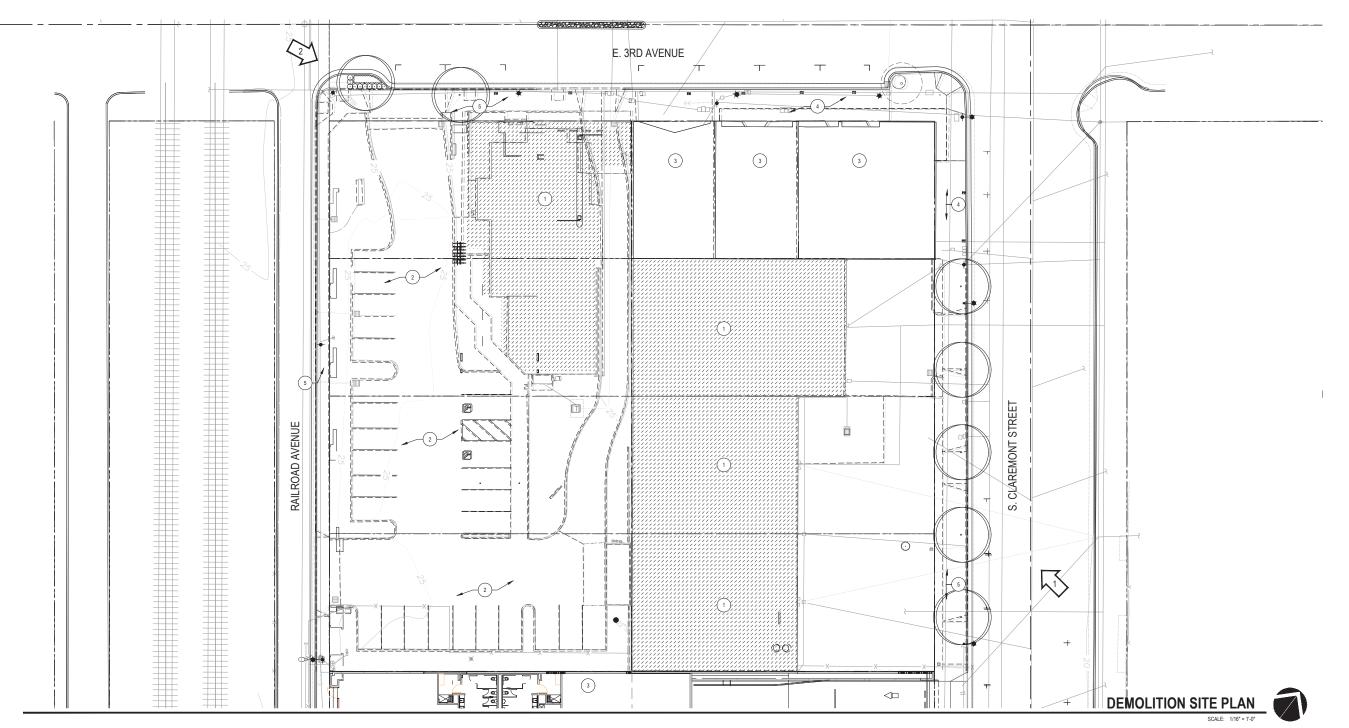
DATE DESCRIPTION
03.14.18 PRELIIL PLANNING SUBINITAL
0627.18 PLANNING SUBINITAL
02.25.19 PLANNING RESUBINITAL
02.25.19 PLANNING RESUBINITAL
04.11.19 PLANNING RESUBINITAL

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California
1731 Technology Drive, Suite 750
San Jose, CA 95113 408,496,1121
https://doi.org/10.1001/10.100

SITE OPEN SPACE AREA PLAN

A0.23





NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

EXISTING BUILDING TO BE DEMOLISHED

2 EXISTING PAVED PARKING AND DRIVES TO BE REMOVE

ADJACENT COMMERCIAL BUILDING; N.I.C.

4 EXISTING PUBLIC SIDEWALK TO REMAIN

5 DEMO PUBLIC SIDEWALK; SEE CIVIL AND LANDSCAPE DRAWINGS

A R C TE C ARCHITECTURAL TECHNOLOGIES WWW.arctecinc.com Arizona 2960 East Northern Avenue, Building C Phoenix, Az 55028 602, 953,255 California 1731 Technology Drive, Suite 750 San Jose, Ca 95113 408,496,1121 Tay 1971 Company of the demonstration schowardput of the company of the co

ARC EEC constitutes that he desemble the subtrue at owner mentation. The subory To presented or this obscious testions or authories say other persons to see ARC EEC or ARC TEC or severed of serior. Reads and ARC TEC or ARC TEC or the service of serior. Reads and ARC TEC or Serior Serior substant. The serior person of the serior serior serior serior substant. The serior person of the serior serior serior serior substant. The serior person of the serior s

In Association with:

A Planning Application for:
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DATE
03.14.18
PRELIM PLANNING SUBMITTAL
10.31.18
PLANNING SUBMITTAL
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PLANNING RESUBMITAL
PLANNING RESUBMITAL
PLANNING RESUBMITAL
PLANNING RESUBMITAL

DEMOLITION SITE PLAN

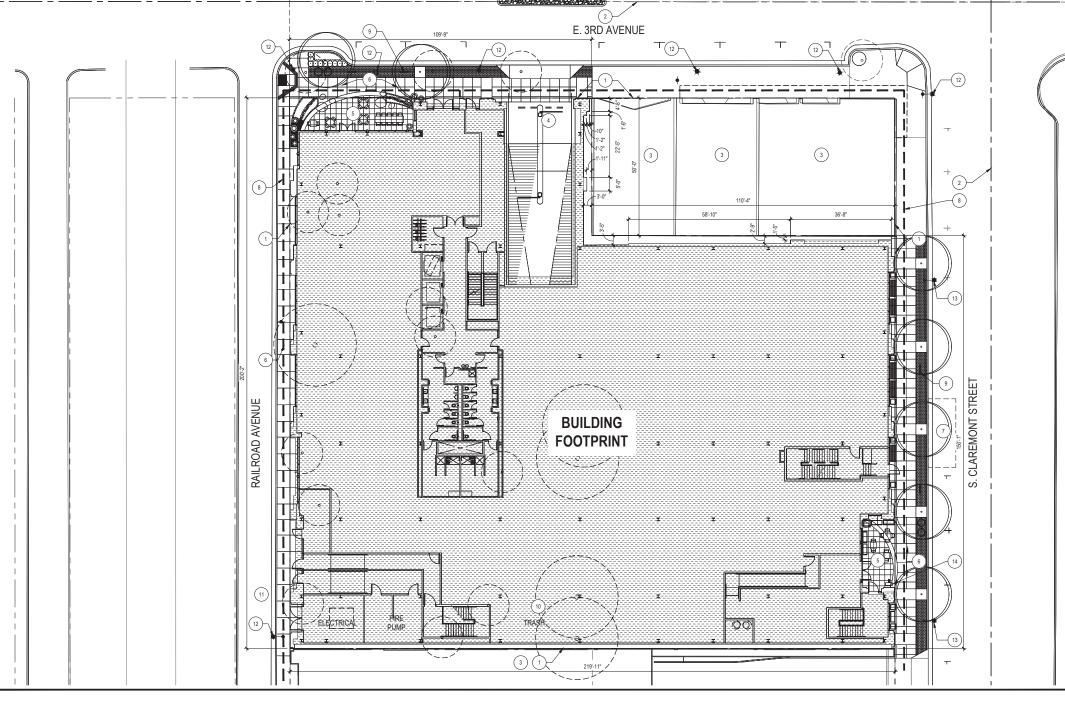
A1.00



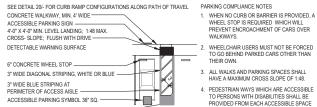
(E) COMMERCIAL BUILDINGS TO BE DEMOLISHED

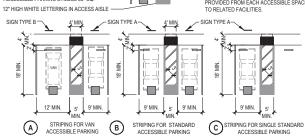


(E) FAST FOOD RESTAURANT TO BE DEMOLISHED









PARKING ANALYSIS

TOTAL PARKING REQUIRED PER SAN MATEO MUNICIPAL CODE CHAPTER 27.64

PARKING REQUIRED (27.64.100) REQUIRED OFFICE PARKING 103,731 SQ. FT. (SEE A0.21) AT 2.6 / 1.000 RATIO = REQUIRED DEIGLATED RESIDENTIAL PARKING AT .5 SPACES PER BEDROOM (7 BEDROOMS & 18 STUDIOS) =	270 SPACE 13 SPACE

PARKING PROVIDED - SEE GA2.11 AND GA2.12 LEVEL P-1 SECURE RESIDENTIAL PARKING PROVIDED
OPEN PARKING PROVIDED 13 SPACES 74 SPACES LEVEL P-2 OPEN PARKING PROVIDED 89 SPACES SPACES PROVIDED THROUGH IN-LIEU FEES TOTAL PARKING PROVIDED 107 SPACES 283 SPACES

	PARKING ANALYSIS TABLE		
		REQUIRED	PROVIDED
COMMERCIAL USE	TOTAL NUMBER OF STALLS	270	157
	TOTAL NUMBER OF ACCESSIBLE STALLS	5	5
	TOTAL NUMBER OF VAN ACCESSIBLE STALLS	1	1
ASSIGNED RESIDENTIAL USE	TOTAL NUMBER OF DEDICATED STALLS	12	12
	TOTAL NUMBER OF DEDICATED ACCESSIBLE STALLS	0	0
	TOTAL NUMBER OF DEDICATED VAN ACCESSIBLE STALLS	1	1
UNASSIGNED RESIDENTIAL USE	TOTAL NUMBER OF PARKING STALLS	N/A***	N/A***
	TOTAL NUMBER OF ACCESSIBLE PARKING STALLS	N/A***	N/A***

"NO UNASSIGNED RESIDENTIAL AND VISITOR PARKING AREAS PROVIDED PER CBC SECTION 1109A.5

PROJECT DATA

ASSESSOR'S PARCEL NO.:	APN 034-182-150, 020, 030 & 04
ZONING:	CBD/S - CENTRAL BUSINESS SUPPOR
SITE AREA:	±38,516 S.F. / .88 ACRE
MAX. ALLOWABLE AREA / N	IAX. F.A.R. (OFFICE AREA): 115,548 S.F. / 3
DENSITY BONUS PROPOSE	D F.A.R.:
(MAX	F.A.R. + BONUS) 115,548 + 4,159 = 119,707 S.
ALLOWABLE HEIGHT:	55'-
PROPOSED HEIGHT:	55'-

PROPOSED FLOOR AREA:
FIRST FLOOR (OFFICE):
SECOND FLOOR (OFFICE):
FOURTH FLOOR (OFFICE):
FOURTH FLOOR (RESIDEN)
TOTAL BUILDING AREA: 34,169 S.F. 34,095 S.F. 32,400 S.F. 3,067 S.F. 15,874 S.F. 119,605 S.F.

OPEN SPACE PROVIDED (SEE A0.23 FOR CALCULATION): ALLOWABLE RESIDENTIAL UNIT DENSITY:

TOTAL REQUIRED SHORT-TERM SPACES: 6 SPACES TOTAL REQUIRED RESIDENTIAL LONG-TERM SPACES: 25 SPACES TOTAL REQUIRED OFFICE LONG-TERM SPACES: 10 SPACES BICYCLE PARKING PROVIDED (MINIMUM): 8 SHORT-TERM SPACES 26 RESIDENTIAL LONG-TERM SPACES 13 OFFICE LONG-TERM SPACES

ALLOWABLE AREA AND HEIGHT CALCULATION

TYPE OF CONSTRUCTION	I-B	OCCUPANCY:
AUTOMATIC SPRINKLER CONFIGURATION:	SM	FROM CBC TABLES 504.3, 504.4 A
(BUILDINGS TWO OR MORE STORIES ABOVE GRADE PLANE EC THROUGHOUT WITH AN AUTOMATIC SPRINKLER SY ACCORDANCE WITH SECTION 9	STEM IN	MAXIMUM HEIGHT (TABLE 504.3) MAXIMUM NUMBER OF STORIES (ALLOWABLE AREA FACTOR (TABI

S-2, B, R-2

KEYNOTES

ΙΛL	INOILS
NOTE: N	OT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.
1	EXISTING PROPERTY LINE
2	CENTERLINE OF PUBLIC RIGHT OF WAY
(3)	ADJACENT COMMERCIAL BUILDING
4	CURB CUT AND RAMP TO BELOW GRADE PARKING
5	OPEN SPACE PROVIDING SEATING AND PLANTING FOR PEDESTRIAN USE, SEE LANDSCAPE PLANS $1.01\&1.02$
6	PUBLIC SIDEWALK; REFER TO CIVIL AND LANDSCAPE DRAWINGS

ON-STREET LOADING TO BE 10'x25' MINIMUM WITH 14' MINIMUM VERTICAL CLEARANCE (27.64.390)

SHORT TERM BICYCLE PARKING: SEE LANDSCAPE DRAWINGS AND SHEET A2.51

WASTE STORAGE ROOM

STREET LIGHT FIXTURE - PROPOSED, SEE CIVIL DRAWINGS C1.1

A Planning Application for:
WINDY HILL PROPERTY VENTURES
3RD AVENUE & RAILROAD AVENUE
SAN MATEO, CA 94401

A1.01

VAN PARKING SPACES SHALL BE PERMITTED TO BE 108 INCHES (9'-0") WIDE MINIMUM WHERE THE ACCESS AISLE IS 96" (8'-0") WIDE MINIMUM ACCESS AISLE FOR VAN ACCESSIBLE PARKING SHALL BE ON PASSENGER SIDE **ACCESSIBLE PARKING SPACES** **SITE PLAN**

UNIT TYPE COUNT: 18 STUDIOS (APPROX. 520 S.F. EA.) 7 - 1 BEDROOMS (APPROX. 650 S.F. EA.)

BICYCLE PARKING REQUIRED:

36,201 / 38,516 = 94.0% 103,731 / 38,516 = 269.3% 119,605 / 38,516 = 310.5% PARCEL COVERAGE:

TOTAL RESIDENTIAL UNITS: RESIDENTIAL UNIT DENSITY:

50 UNITS PER ACRE 28 UNITS PER ACRE

PER SAN MATEO CITY CHARTER AND MUNICIPAL CODE, 27.64.262

RESIDENTIAL: 1 SHORT-TERM SPACE

1 LONG-TERM SPACE PER UNIT 25 UNITS * 1 = 25 SPACES

GENERAL OFFICE: 1 SHORT-TERM SPACE PER 20,000 S.F. 103,731 S.F. / 20,000 S.F. = 5.1865 = 5 SPACES

1.309 S.F

MAXIMUM NUMBER OF STORIES (TABLE 504.4) ALLOWABLE AREA FACTOR (TABLE 506.2)

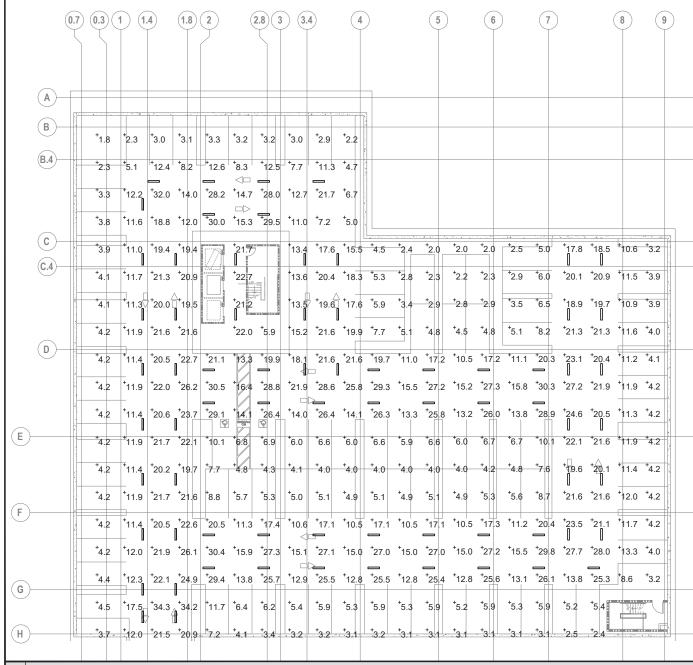
ACCESSIBLE PATH OF TRAVEL SHOWN DASHED

WASTE COLLECTION SERVICE LOCATION STREET LIGHT FIXTURE - EXISTING, SEE CIVIL DRAWINGS C1.0

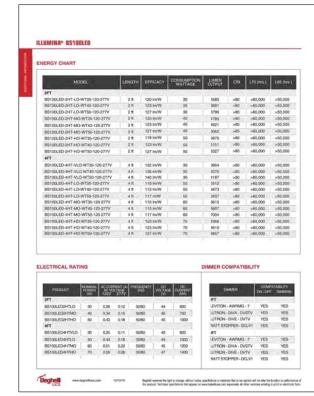
BICYCLE REPAIR STATION

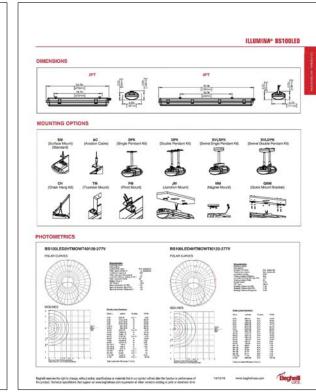


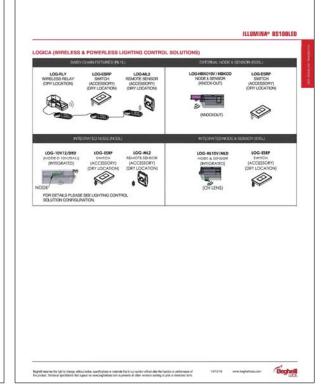
	LUMINARY					
Symbol	Label	Qunt.	Manufacturer	Catalog Number	Lumens	Wattage
	L1	71	BEGHELLI	BS100LED- 4-SA-LO-WT40-120-277V-AC	5673	50













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PARKING LEVEL P2 - PHOTOMETRIC PLAN

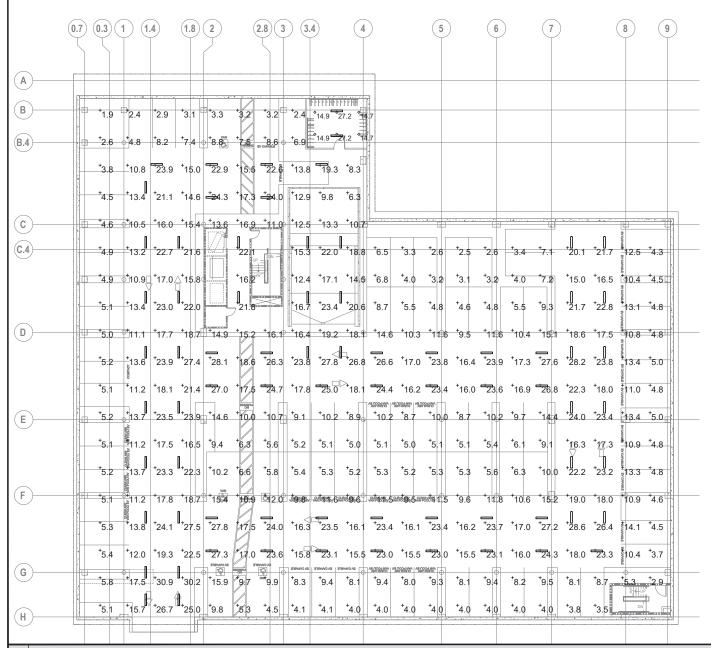
E5.0

SCALE: 1/16"=1'-0"

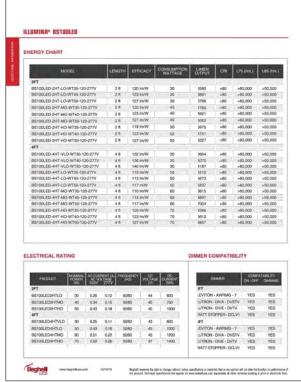
PARKING LEVEL P2 - PHOTOMETRIC PLAN

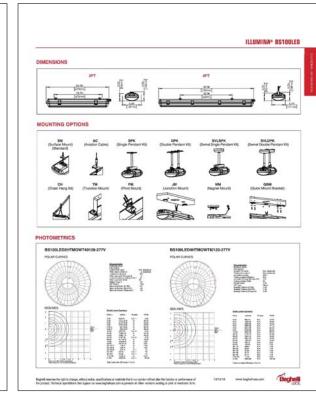


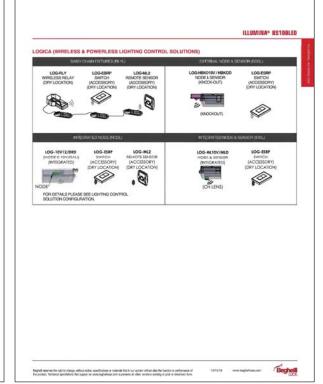
	LUMINARY						
	Symbol	Label	Qunt.	Manufacturer	Catalog Number	Lumens	Wattage
c		L1	73	BEGHELLI	BS100LED- 4-SA-LO-WT40-120-277V-AC	5673	50













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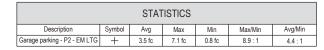
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PARKING LEVEL P1 - PHOTOMETRIC PLAN

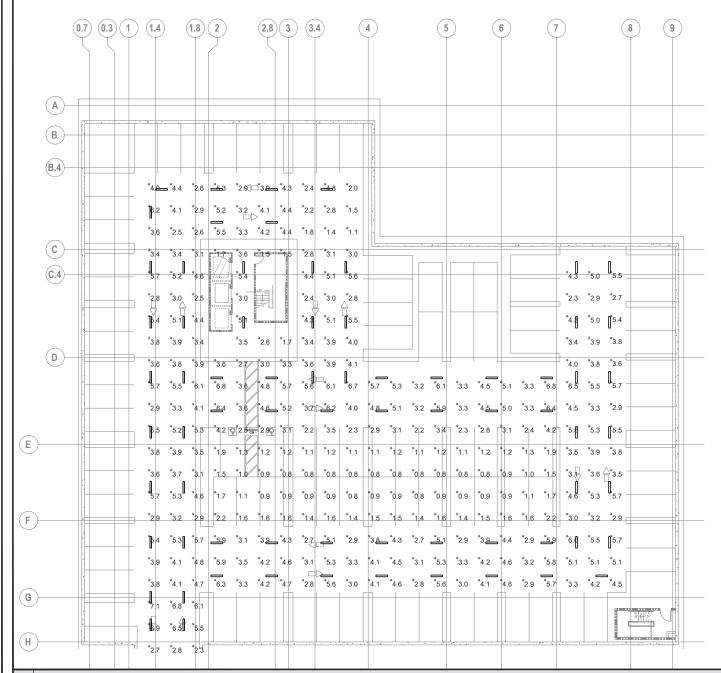
E5.1

SCALE: 1/16"=1'-0"

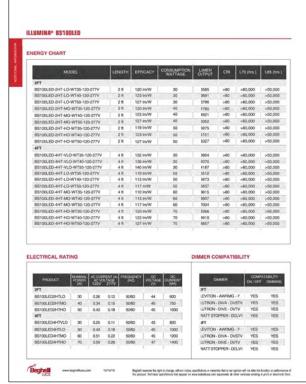
PARKING LEVEL P1 - PHOTOMETRIC PLAN

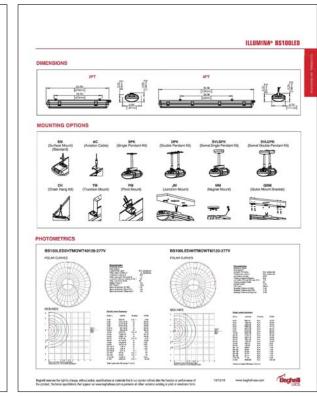


LUMINARY						
Symbol	Label	Qunt.	Manufacturer	Catalog Number	Lumens	Wattage
	L1	71	BEGHELLI	BS100LED- 4-SA-LO-WT40-120-277V-AC (IN EM MODE)	1135	10













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PARKING LEVEL P1 - PHOTOMETRIC PLAN - EMERGENCY LIGHTING

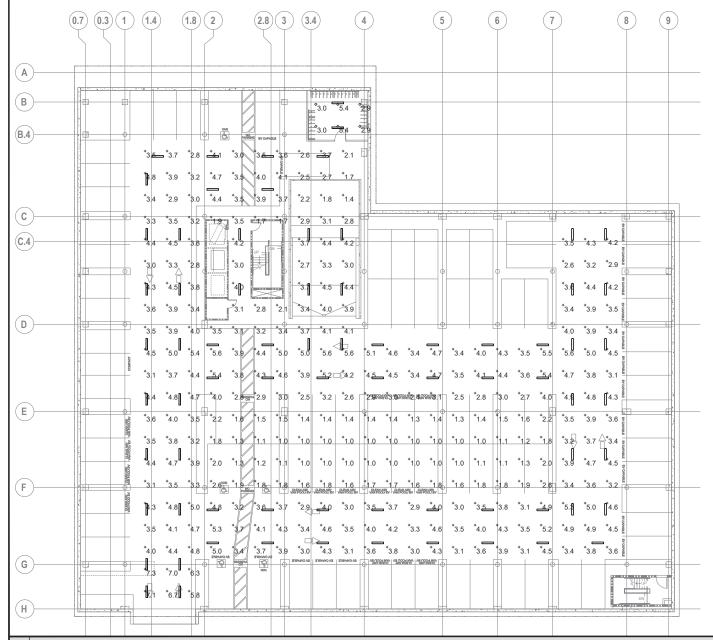
E5.2

PARKING LEVEL P2 - PHOTOMETRIC PLAN - EMERGENCY LIGHTING

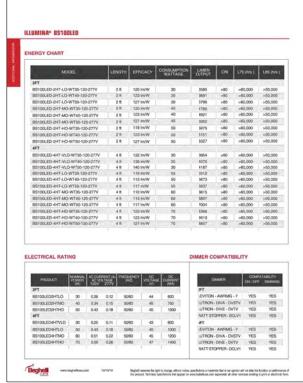
SCALE: 1/16"=1'-0"

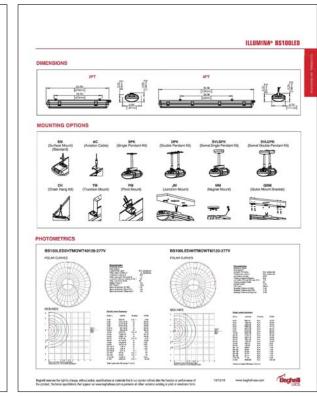


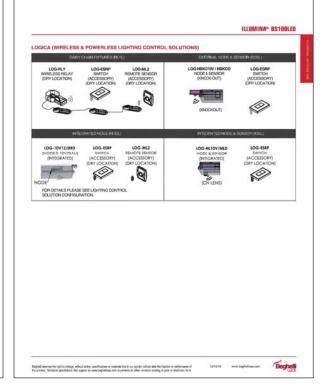
LUMINARY						
Symbol	Label	Qunt.	Manufacturer	Catalog Number	Lumens	Wattage
	L1	73	BEGHELLI	BS100LED- 4-SA-LO-WT40-120-277V-AC (IN EM MODE)	1135	10













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PARKING LEVEL P1 - PHOTOMETRIC PLAN - EMERGENCY LIGHTING

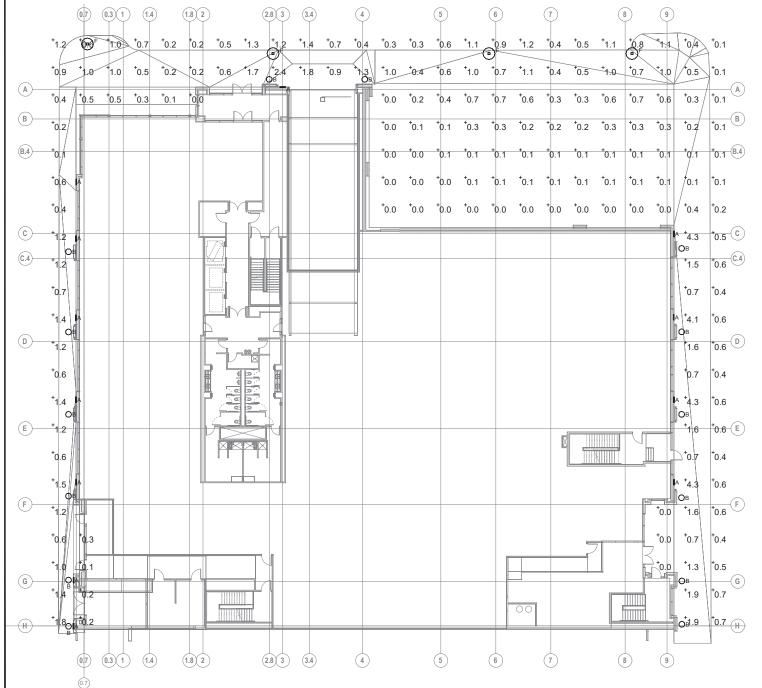
E5.3

SCALE: 1/16"=1'-0"

PARKING LEVEL P1 - PHOTOMETRIC PLAN - EMERGENCY LIGHTING

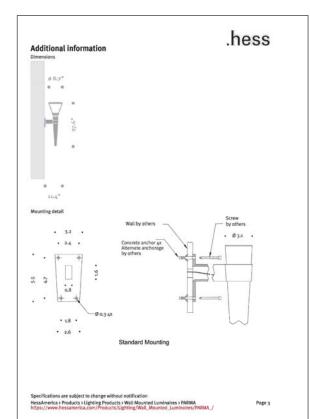


	LUMINARY							
Symbol	Label	Qunt.	Manufacturer	Catalog Number	Lumens	Wattage		
	А	12	AMBIANCE	944405S-171	300	9		
\circ	В	14	HESS	PARMA 700 PM700-42-CF-7-W	3200	18		
<u> </u>	F	4	WAC LIGHTING	EXISTING STREET LIGHTING WA070HP00X7X4	6300	70		









SITE PLAN - PHOTOMETRIC PLAN







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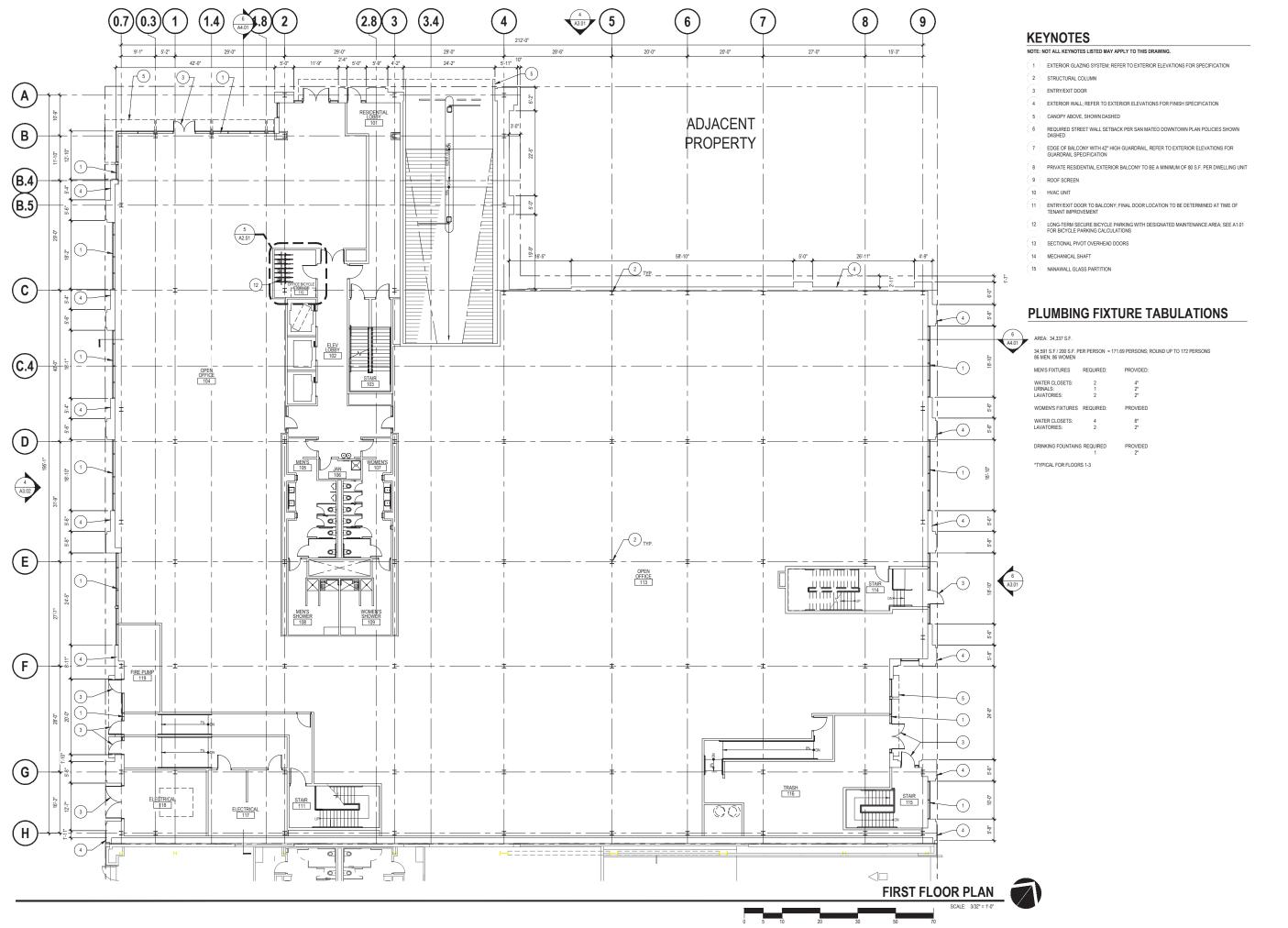
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SITE PLAN - PHOTOMETRIC PLAN

E5.4

PROJECT NO:

SCALE: 1/16"=1'-0"



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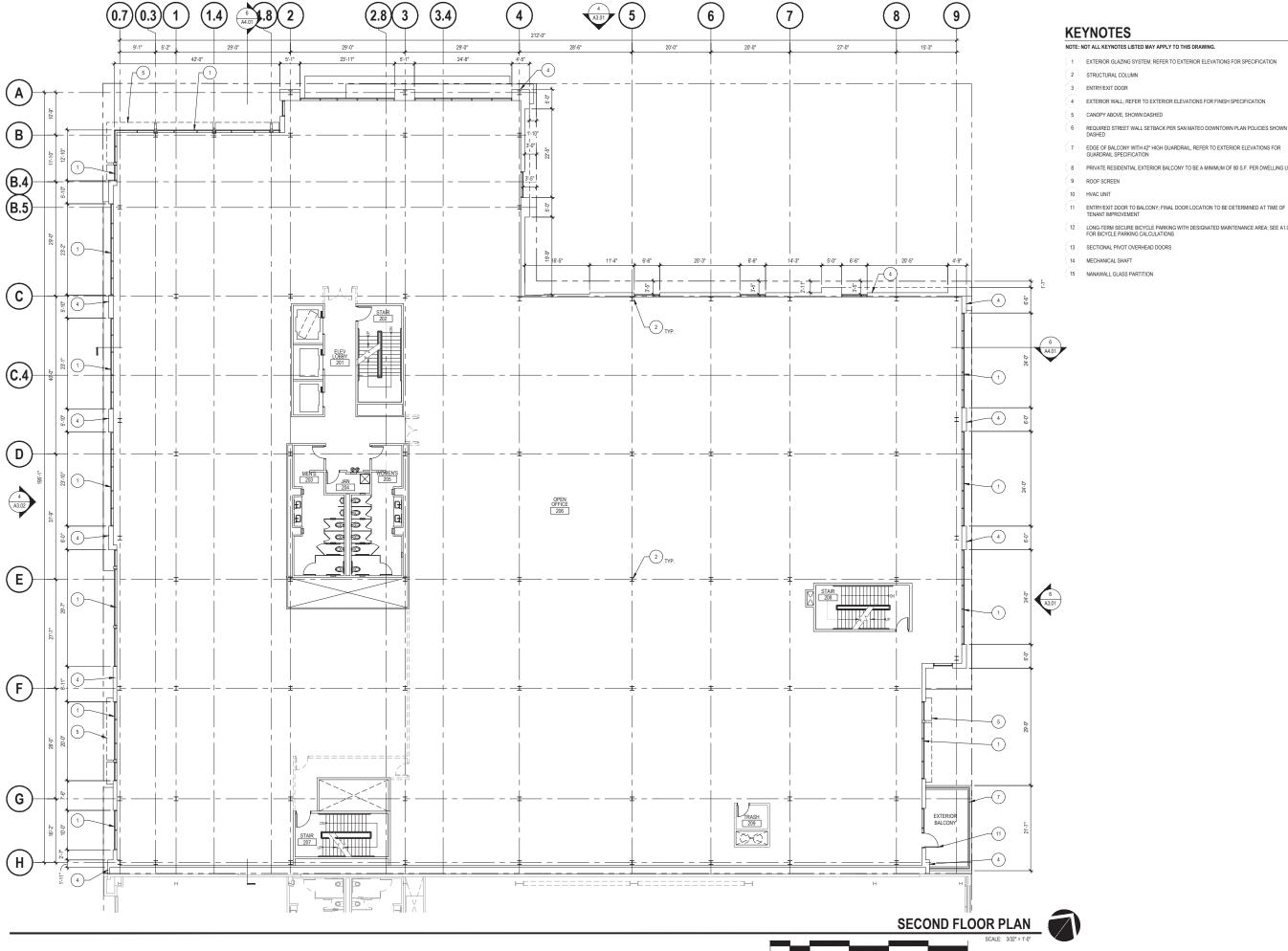
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DATE 03.14.18 08.27.18 10.31.18 02.28.19 04.11.19

A2.11



KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXTERIOR GLAZING SYSTEM; REFER TO EXTERIOR ELEVATIONS FOR SPECIFICATION
- 2 STRUCTURAL COLUMN
- 4 EXTERIOR WALL: REFER TO EXTERIOR ELEVATIONS FOR FINISH SPECIFICATION

- 7 EDGE OF BALCONY WITH 42" HIGH GUARDRAIL, REFER TO EXTERIOR ELEVATIONS FOR GUARDRAIL SPECIFICATION

- 13 SECTIONAL PIVOT OVERHEAD DOORS
- 14 MECHANICAL SHAFT
- 15 NANAWALL GLASS PARTITION

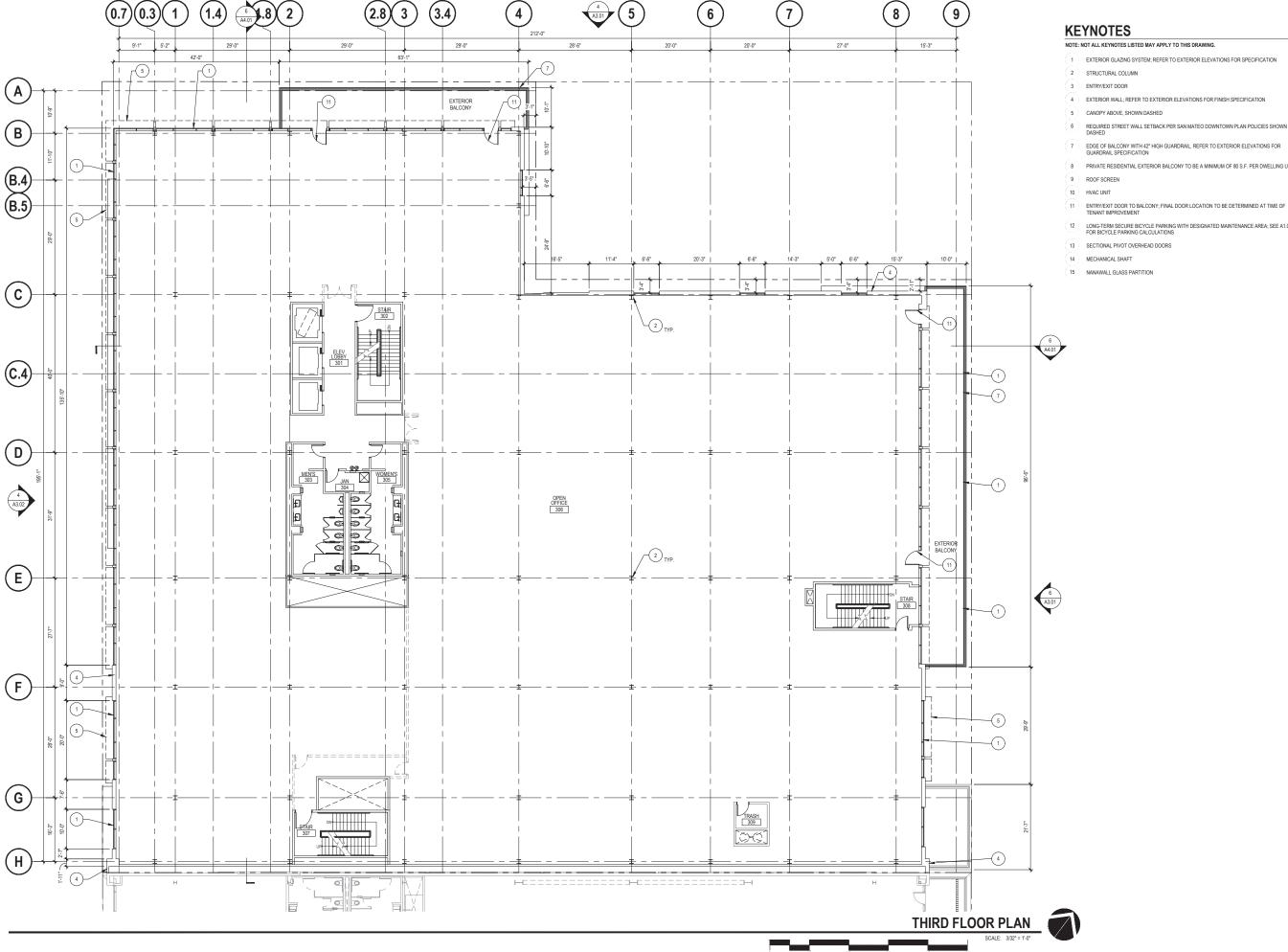
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A2.12



NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXTERIOR GLAZING SYSTEM; REFER TO EXTERIOR ELEVATIONS FOR SPECIFICATION
- 4 EXTERIOR WALL: REFER TO EXTERIOR ELEVATIONS FOR FINISH SPECIFICATION
- 5 CANOPY ABOVE, SHOWN DASHED
- 7 EDGE OF BALCONY WITH 42" HIGH GUARDRAIL, REFER TO EXTERIOR ELEVATIONS FOR GUARDRAIL SPECIFICATION
- 8 PRIVATE RESIDENTIAL EXTERIOR BALCONY TO BE A MINIMUM OF 80 S.F. PER DWELLING UNIT
- ENTRY/EXIT DOOR TO BALCONY; FINAL DOOR LOCATION TO BE DETERMINED AT TIME OF TENANT IMPROVEMENT
- 13 SECTIONAL PIVOT OVERHEAD DOORS
- 15 NANAWALL GLASS PARTITION



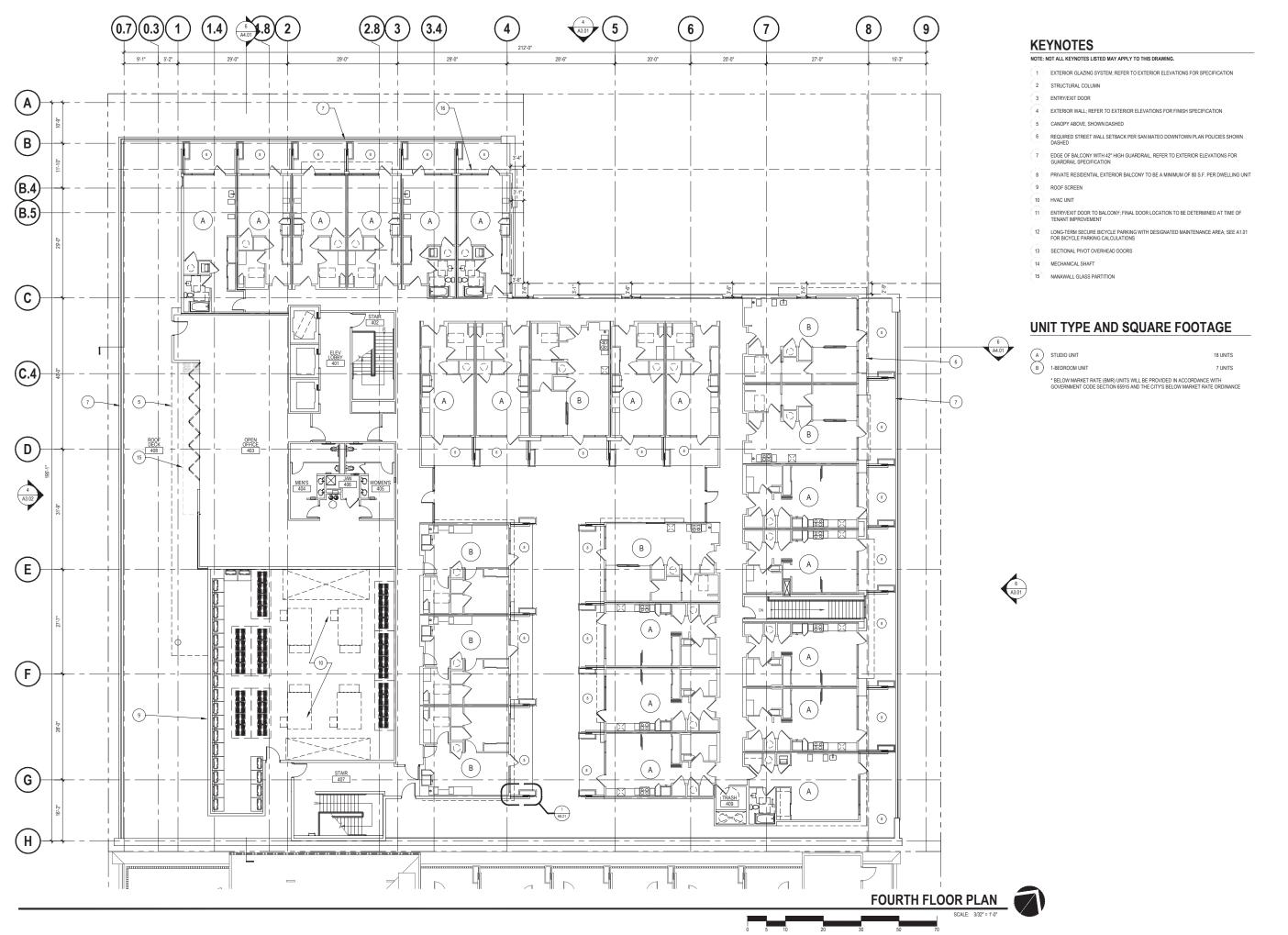
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A2.13





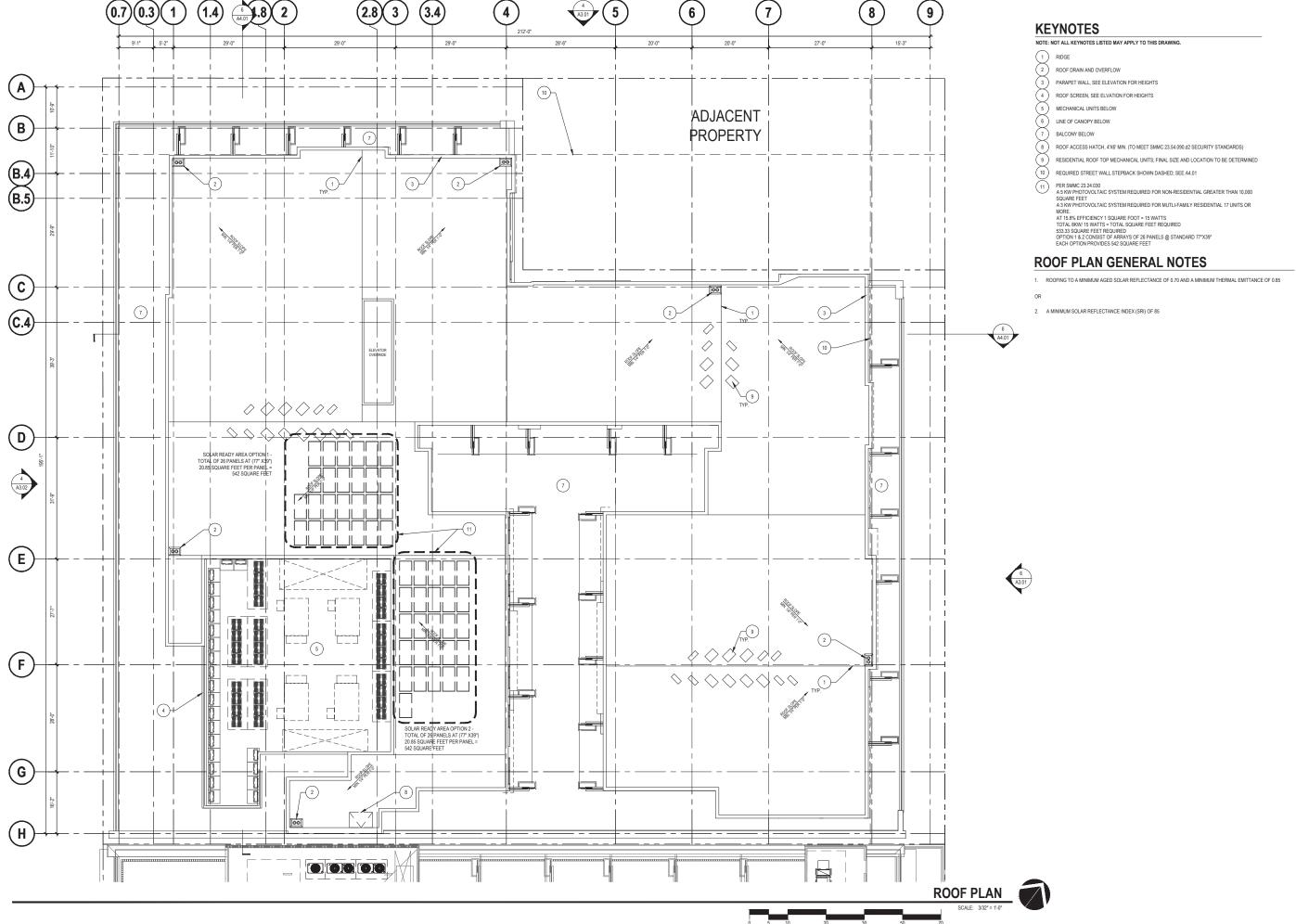
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A2.14



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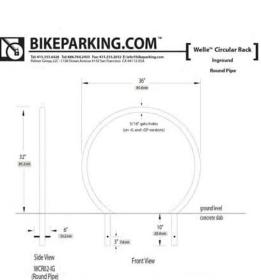
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DESCRIPTION
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PLANNING RESUBMITTAL
PLANNING RESUBMITTAL DATE 03.14.18 08.27.18 10.31.18 02.28.19

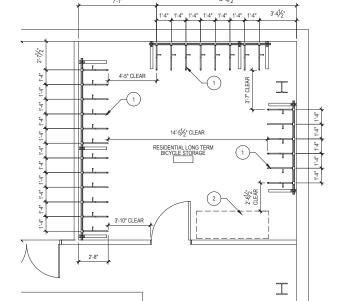
A2.31

ENLARGED PLAN - 3RD AVENUE SHORT TERM BIKE PARKING

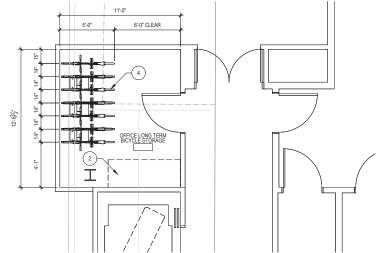


Welle" Circular Rack , Inground Round Pipe								
Tubing	Model	Weight	Finish Options	Hoop-& Lags (in ground)	Cross Mamber (in-proced)			
Round Pipe	WCR024G	32 lbs 162 kg	-G Hot Disped Galvanized -P Prevder Casted (solar) -GP mort Disped Galvanized with Prevder Cast (solar) -Top-Cost -SS Samileou H Broch Frisish -	4, 9, 49 2337 OD x 0.15F Wall Schedul 40 Fpc Abell 60 Fpc Abell 60 Fpc Abell 60 Fpc Abell 60 Fpc 60	10"x0" Bloss ISJon Sold Red Replayted			

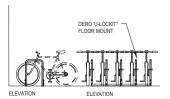
BIKEPARKING.COM WELLE IN GROUND SHORT TERM BICYCLE PARKING



ENLARGED PLAN - GARAGE LEVEL RESIDENTIAL LONG TERM BIKE PARKING



ENLARGED PLAN - FIRST FLOOR OFFICE LONG TERM BIKE PARKING



DERO U-LOCK IT LONG TERM BICYCLE PARKING

KEYNOTES

FLOOR MOUNTED DERO ULTRA SPACE SAVER SQUARED BICYCLE RACK - LONG TERM BICYCLE PARKING REPAIR AREA

IN GRADE BIKEPARKING.COM WELLE CIRCULAR BIKE RACK WCR02-IG - SHORT TERM BICYCLE PARKING (4) FLOOR MOUNTED DERO DUPLEX BICYCLE RACK - LONG TERM BICYCLE PARKING

BICYCLE PARKING CALCULATIONS

BICYCLE PARKING REQUIRED:

PER SAN MATEO CITY CHARTER AND MUNICIPAL CODE, 27.64.262

1 SHORT-TERM SPACE PER 20,000 S.F. 103,731 S.F. / 20,000 S.F. = 5.1865 = 5 SPACES 1 LONG-TERM SPACE PER 10,000 S.F. 103,731 S.F. / 10,000 S.F. = 10.373 = 10 SPACES

1 SHORT-TERM SPACE

1 LONG-TERM SPACE PER UNIT 25 UNITS * 1 = 25 SPACES

TOTAL REQUIRED SHORT-TERM SPACES: 6 SPACES
TOTAL REQUIRED RESIDENTIAL LONG-TERM SPACES: 25 SPACES
TOTAL REQUIRED OFFICE LONG-TERM SPACES: 10 SPACES

BICYCLE PARKING PROVIDED (MINIMUM): 8 SHORT-TERM SPACES 26 RESIDENTIAL LONG-TERM SPACES 13 OFFICE LONG-TERM SPACES

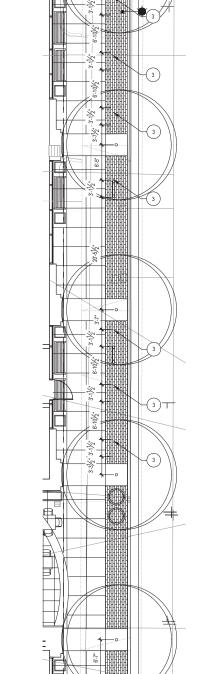


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SAN MATEO, CA 94401

A2.51

PROJECT NO:



DERO 'DUPLEX' WITH SPACE FOR-TWO STACKED BICYCLES EACH RACK

DERO DUPLEX LONG TERM BICYCLE PARKING

DERO ULTRA SPACE SAVER SQUARED LONG TERM BICYCLE PARKING

ENLARGED PLAN - CLAREMONT STREET SHORT TERM BIKE PARKING

7 P1 - 6 B1 - 17 W M1 4 G2 2 6 B1 7 P1 4 M2 22 (14) 41'-6" FOURTH LEVEL 14'-0" SECOND LEVEL F 3RD AVENUE +21.13 6 B1 3 EXISTING PERMITTED BUILDING (8) 3 B1 6 G1 (1) PC1 (18) M2 4 ADJACENT PROPERTY ±12-0* PUBLIC ELEVATION BEYOND: 3* TO LESS THAN 5* FIRE SEPARATION SETBACK TO HAVE 15% OR LESS AREA OF EXTERIOR WALL OPENINGS SIDEWALK, TYP. 23'-0" TO CENTERLINE OF PUBLIC RIGHT OF WAY

ADJACENT PROPERTY ELEVATION BEYOND: 3' TO LESS THAN 5' FIRE SEPARATION SETBACK TO HAVE 15% OR LESS AREA OF EXTERIOR WALL OPENINGS

23'-0" TO CENTERLINE OF

±12'-0" PUBLIC

EAST (CLAREMONT ST) ELEVATION

(C

KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 1" INSULATED LOW E GLAZING SYSTEM WITH LOW TINT GLASS IN CLEAR ANODIZED ALUMINUM FRAMES AND BUTT JOINTS
- 1" INSULATED LOW E GLAZING SYSTEM WITH GRAY TINT GLASS IN CLEAR ANODIZED ALUMINUM FRAMES AND VERTICAL BUTT JOINTS AND EXPRESSED HORIZONTAL MULLIONS

- 4 ALUMINUM COMPOSITE METAL PANEL
- 5 PUBLIC ART
- 6 BRICK VENEER AND EXTERIOR SHEATHING OVER METAL STUD FRAME
- 7 STUCCO FINISH AND EXTERIOR SHEATHING OVER METAL STUD FRAME
- 8 EXTERIOR WALL SCONCE: SEE DETAIL 11/A3.02
- 9 EXTRUDED CLEAR ANODIZED ALLIMINUM ADDRESS NUMERALS
- 10 TEMPERED GLAZING GLIARDRAII 11 CABLE GUARDRAIL
- 12 EXISTING PROPERTY LINE
- 13 REQUIRED STREET WALL SETBACK TAKEN FROM STREET CENTERLINE PER SAN MATEO DOWNTOWN PLAN POLICIES SHOWN DASHED
- 14 CENTERI INF OF PUBLIC RIGHT OF WAY
- 15 ENTRY TO BELOW GRADE PARKING STRUCTURE
- 16 SECTIONAL PIVOT OVERHEAD DOORS
- 17 WOOD CLADDING
- 18 PRECAST CONCRETE
- 19 SOLAR SHADE
- 20 BRICK REVEAL AT JAMB
- PARAPET / RAILING EXTENDING ABOVE STREETWALL PER SMMC 27.42.010 "ALLOWABLE INTRUSIONS ABOVE THE STREET WALL ARE LIMITED TO MINOR ARCHITECTURAL DETAILING NOT EXCEEDING FOUR (4) FEET IN HEIGHT AND PARAPETS INCLUDING RAILINGS AND ARBORS AND LANDSCAPED PLANTING AREAS"

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MATERIAL PALETTE

* GLAZING SPECIFIED INDICATES GENERAL TONE AND COLOR. FINAL PERCEIVED COLOR AND CLARITY WILL VARY DEPENDING ON 1* INSULATED GLAZING SPECIFICATION TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENTATION.

(G1)	TYPE: COLOR:	1" INSULATED LOW TINT
(G2)	GLAZING* TYPE: COLOR:	1" INSULATED GRAY TINT

- M2
- THIN BRICK VENEER TO MATCH
 MANUFACTURER: HC MUDDOX
 COLOR: TUMBLEWEED
 TYPE: NORMAN
 FINISH: WIRECUT
- PAINT OVER STUCCO FINISH TO MATCH MANUFACTURER: DUNN EDWARDS COLOR: DEC751 ASH GRAY COLOR:

(A.2)

WOOD CLADDING FINISH TO MATCH MANUFACTURER: TREE FROG COLOR: 60219 WHITE OAK

(A.4)

- MANUFACTURER: REYNOBOND
 SERIES: COLORWELD 500 XL
 FINISH: TITANIUM
- ALUMINUM SUNSCREEN FINISH TO MATCH
 MANUFACTURER: REYNOBOND
 SERIES: COLORWELD 500 XL
 FINISH: NIGHTFALL METALLIC
- PRECAST CONCRETE PRECAST CONCRETE

 MANUFACTURER: INCRETE

 SERIES: STANDARD COLORS

 COLOR: MATCH DET642 BAY SALT

A Planning Application for:
WINDY HILL PROPERTY VENTURES
3RD AVENUE & RAILROAD AVENUE
SAN MATEO, CA 94401

DESCRIPTION
PRELIM. PLANNING SUBMITTAL
PLANNING RESUBMITTAL
PLANNING RESUBMITTAL
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DI ANNING RESUBMITTAL

A3.01 PROJECT NO:

NORTH (3RD AVE) ELEVATION

22 6 B1 4 M2 4 M1 7 P1 G1 1 — 12 41'-6"
FOURTH LEVEL 27'-9" THIRD LEVEL AL SAIGON CITY SUKIYAKI RAII ROAD AVENUE PROPOSED BUILDING PC1 (18) 6 B1 \(\big(1) \(\big(61)\) 4 M2 43 8 4 M2

(E)

BRICK REVEAL DETAIL VIEW



EXTERIOR WALL SCONCE - HESS AMERICA 'PARMA'

23'-0" TO CENTERLINE OF ±12'-0" PUBLIC
PUBLIC RIGHT OF WAY SIDEWALK, TYP.

ø 8.7"

11.4"

+55'-0"
ROOF LEVEL
PLATELINE
HEIGHT LIMIT

41'-6" FOURTH LEVEL

27'-9"
THIRD LEVEL

14'-0" SECOND LEVEL

-0'-10" (+22.98) 'CURB LEVEL'

0

. .

EXTERIOR STEP LIGHT - VITRA "BRICK LIGHT"

6 B1

(5)

1 G2

PC1 (18)

3

4 M1

7 P1

- 17 W

7 P1 G2 2

4 M2

(3)

-(8)

KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 1" INSULATED LOW E GLAZING SYSTEM WITH LOW TINT GLASS IN CLEAR ANODIZED ALUMINUM FRAMES AND BUTT JOINTS
- 1" INSULATED LOW E GLAZING SYSTEM WITH GRAY TINT GLASS IN CLEAR ANODIZED ALUMINUM FRAMES AND VERTICAL BUTT JOINTS AND EXPRESSED HORIZONTAL MULLIONS

- 4 ALUMINUM COMPOSITE METAL PANEL
- 5 PUBLIC ART
- 6 BRICK VENEER AND EXTERIOR SHEATHING OVER METAL STUD FRAME
- 7 STUCCO FINISH AND EXTERIOR SHEATHING OVER METAL STUD FRAME
- 8 EXTERIOR WALL SCONCE: SEE DETAIL 11/A3.02
- 9 EXTRUDED CLEAR ANODIZED ALLIMINUM ADDRESS NUMERALS
- 10 TEMPERED GLAZING GLIARDRAII
- 11 CABLE GUARDRAIL
- 12 EXISTING PROPERTY LINE
- 13 REQUIRED STREET WALL SETBACK TAKEN FROM STREET CENTERLINE PER SAN MATEO DOWNTOWN PLAN POLICIES SHOWN DASHED
- 14 CENTERLINE OF PUBLIC RIGHT OF WAY
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- 16 SECTIONAL PIVOT OVERHEAD DOORS
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California
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San Jose, CA 9513 408, 496-1121 The "Nert", assessment of the demonstrate assessment purchase the state of the

MATERIAL PALETTE

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TIME OF C	ONSTRUCTION DOCU	MENTALIC
(G1)	GLAZING* TYPE: COLOR:	1" INSULA
G2	GLAZING* TYPE: COLOR:	1" INSULA GRAY TIN
(B1)	THIN BRICK VENEER MANUFACTURER: COLOR:	

COLOR:

- MANUFACTURER: REYNOBOND
 SERIES: COLORWELD 500 XL
 FINISH: TITANIUM
- ALUMINUM SUNSCREEN FINISH TO MATCH MANUFACTURER: REYNOBOND SERIES: COLORWELD 500 XL FINISH: NIGHTFALL METALLIC
- PAINT OVER STUCCO FINISH TO MATCH MANUFACTURER: DUNN EDWARDS COLOR: DEC751 ASH GRAY WOOD CLADDING FINISH TO MATCH

MANUFACTURER: TREE FROG COLOR: 60219 WHITE OAK

PRECAST CONCRETE

MANUFACTURER: INCRETE

SERIES: STANDARD COLORS

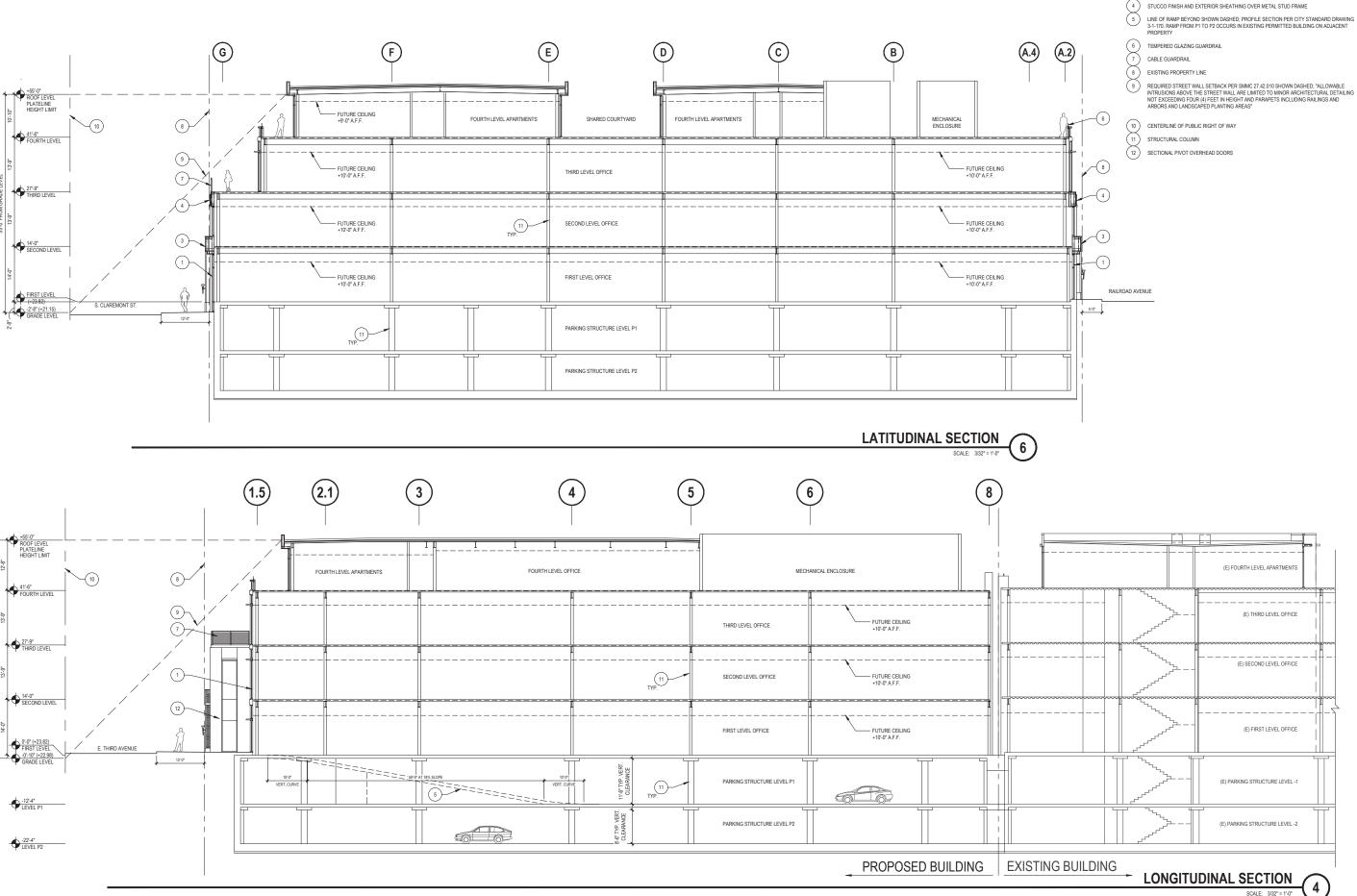
COLOR: MATCH DET642 BAY SALT

A Planning Application for:
WINDY HILL PROPERTY VENTURES
3RD AVENUE & RAILROAD AVENUE
SAN MATEO, CA 94401

DESCRIPTION
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PLANNING SUBMITTAL
PLANNING RESUBMITTAL
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PLANNING RESUBMITTAL
PLANNING RESUBMITTAL

WEST (RAILROAD AVE) ELEVATION

A3.02



KEYNOTES

CLEAR ANODIZED ALUMINUM FRAME AND 1" INSULATED GLAZING SYSTEM

BRICK VENEER AND EXTERIOR SHEATHING OVER METAL STUD FRAME

ALUMINUM COMPOSITE METAL PANEL CANOPY

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PLANNING SUBMITTAL
PLANNING RESUBMITTAL
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A4.01

3 4 A8.21 A8.21 5 A8.21 A8.21 9/A8.21

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SAN MATEO, CA 94401

PATIO DIVIDER SECTION @ PLANTER WOOD PANELS AND GLAZING

SIMULATED SANDBLAST FINISH), SET IN A

WET GLAZED BASE MOULDING, CR

WET GLAZED BASE MOLILDING CR

LAURENCE OR APPROVED EQUAL

1/2" TEMPERED GLAZING (CLEAR WITH

- CONTINUOUS 4" X 1/2" STEEL BAR CAP.

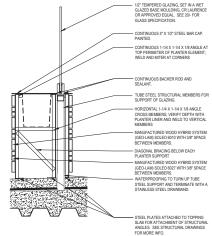
- MANUFACTURED WOOD HYRRID SYSTEM

(GEO-LAM) SOLEO 6027 WITH 3/8" SPACE BETWEEN MEMBERS.

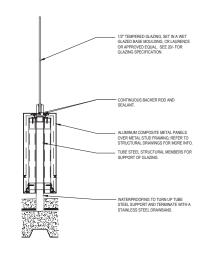
ALUMINUM COMPOSITE METAL PANELS
OVER METAL STUD FRAMING; REFER TO
STRUCTURAL DRAWINGS FOR MORE INFO.

CONCRETE TOPPING SLAB.

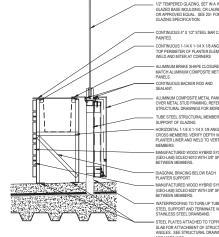
LAURENCE OR APPROVED EQUAL



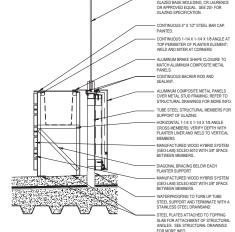
RESIDENTAIL PATIO DIVIDER TYPICAL PLAN



PATIO DIVIDER SECTION @ METAL PANEL AND GLAZING



PATIO DIVIDER SECTION @ PLANTER AND DOUBLE GLAZING



PATIO DIVIDER SECTION @ PLANTER WD & MTL PANELS, AND GLAZING

1/2" TEMPERED GLAZING (RLUE TINT WITH SIMULATED SANDBLAST FINISH), SET IN A WET GLAZED BASE - 1/2" TEMPERED GLAZING (CLEAR WITH SIMULATED SANDBLAST FINISH), SET IN A WET GLAZED BASE MOULDING, CR LAURENCE OR APPROVED EQUAL. CONTINUOUS 4" X 1/2" STEEL BAR ALUMINUM COMPOSITE METAL PANELS OVER METAL STUD FRAMING; REFER TO STRUCTURAL DRAWINGS FOR MORE INFO. (GEO-LAM) SOLEO 6010 WITH 3/8" SPACE BETWEEN MEMBERS.. MANUFACTURED WOOD HYBRID SYSTEM (GEO-LAM) SOLEO 6027 WITH 3/8" SPACE BETWEEN MEMBERS. - CONCRETE TOPPING SLAB.

RESIDENTAIL PATIO DIVIDER

EXTERIOR END ELEVATION

1/2" TEMPERED GLAZING (BLUE TINT WITH SIMULATED SANDBLAST FINISH), SET IN A

WET GLAZED BASE MOULDING, CR

1/2" TEMPERED GLAZING (CLEAR WITH

WET GLAZED BASE MOULDING CR

- CONTINUOUS 4" X 1/2" STEEL BAR CAP

- MANUFACTURED WOOD HYRRID SYSTEM

(GEO-LAM) SOLEO 6027 WITH 3/8" SPACE BETWEEN MEMBERS.

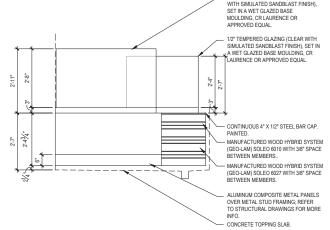
- ALUMINUM COMPOSITE METAL PANELS OVER METAL STUD FRAMING; REFER TO STRUCTURAL DRAWINGS FOR MORE INFO.

CONCRETE TOPPING SLAB.

LAURENCE OR APPROVED EQUAL

LAURENCE OR APPROVED EQUAL

RESIDENTAIL PATIO DIVIDER PLANTER SIDE ELEVATION (12) SCALE: 1/2" = 1'-0"



RESIDENTAIL PATIO DIVIDER METAL PANEL SIDE ELEVATION

RESIDENTAIL PATIO DIVIDER

INTERIOR END ELEVATION

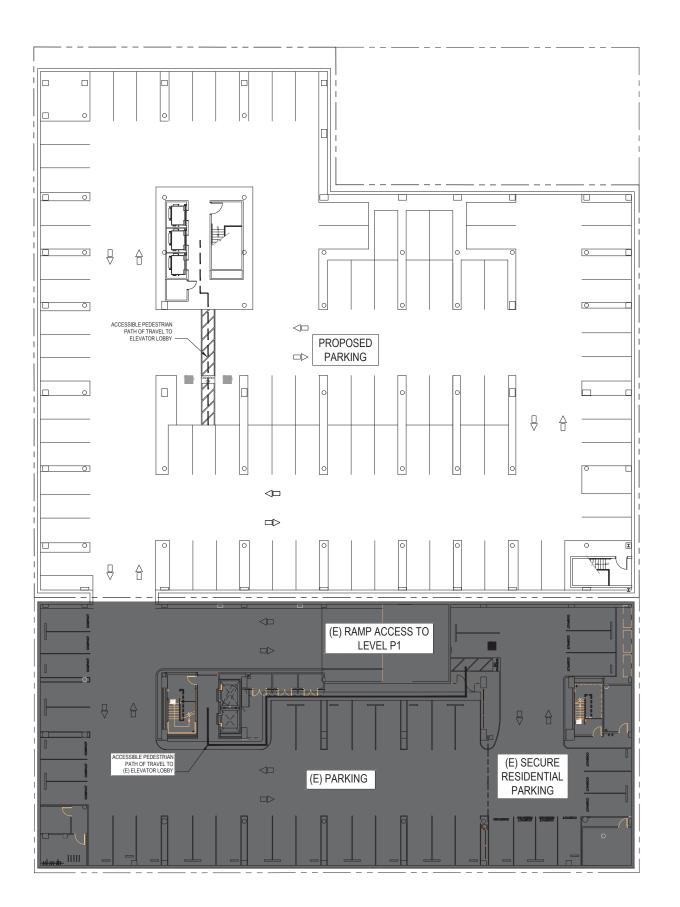
DIAGONAL BRACING BELOW EACH PLANTER SUPPORT

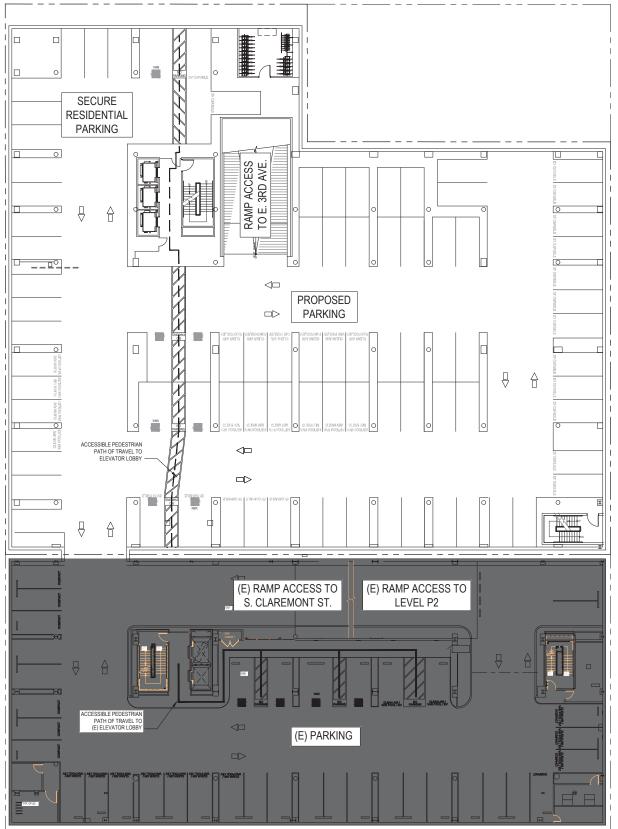
PATIO DIVIDER SECTION
@ PLANTER - PRIVATE/SHARED

A8.21

PROJECT NO:

DESCRIPTION
PRELIM. PLANNING SUBMITTAL
PLANNING SUBMITTAL
PLANNING RESUBMITTAL
PLANNING RESUBMITTAL





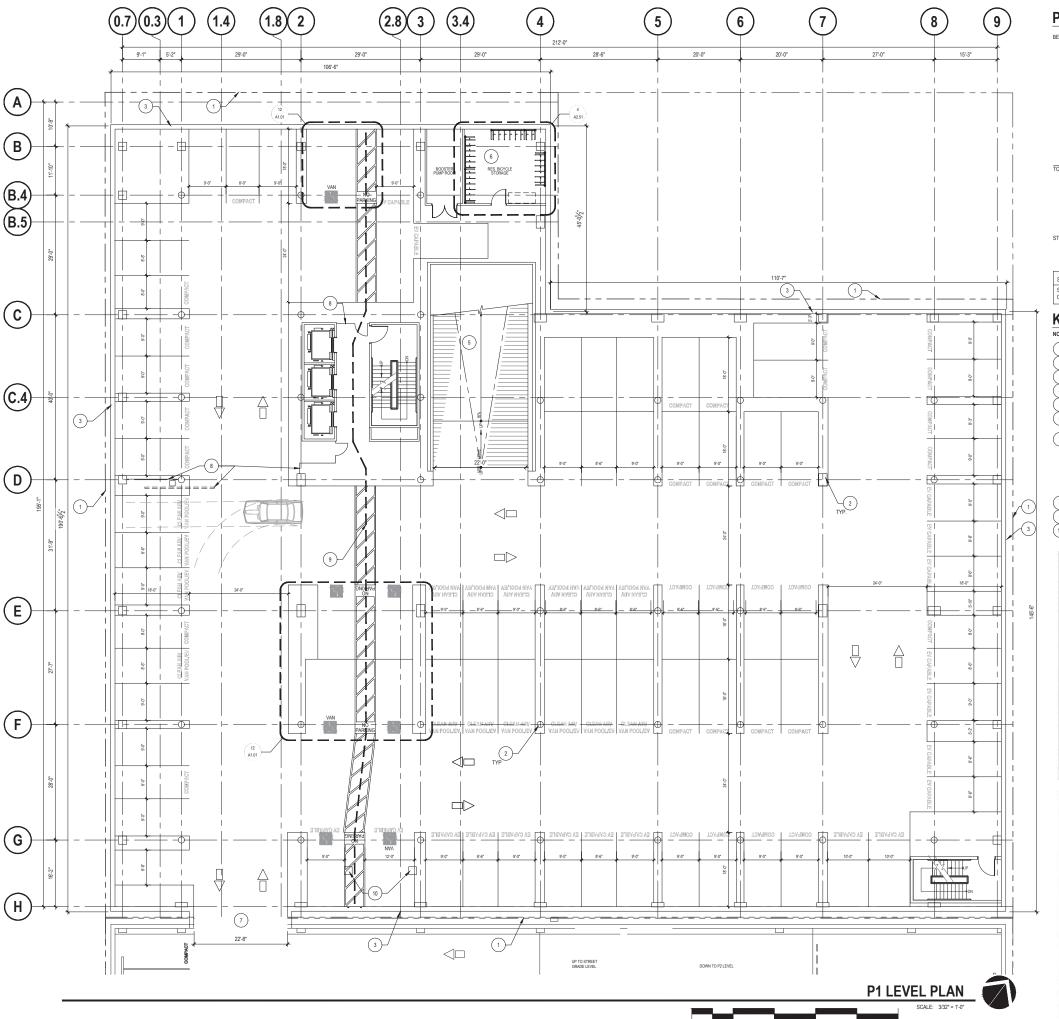


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A Planning Application for:
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3RD AVENUE & RAILROAD AVENUE
SAN MATEO, CA 94401

DESCRIPTION
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PLANNING RESUBMITTAL
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PARKING ANALYSIS

BELOW GRADE PARKING PROVIDED 1 LEVEL SECURE RESIDENTIAL - VAN ACCESSIBLE SECURE RESIDENTIAL - STANDARD SECURE RESIDENTIAL - COMPACT ACCESSIBLE PARKING PROVIDED 1 SPACE 6 SPACES 6 SPACES 3 SPACES 1 SPACES 38 SPACES 25 SPACES 2 SPACES 1 SPACE 1 SPACE ACCESSIBLE PARKING PROVIDED
VAN ACCESSIBLE PARKING PROVIDED
STANDARD PARKING PROVIDED
COMPACT PARKING PROVIDED
STANDARD TANDEM PARKING PROVIDED
COMPACT TANDEM PARKING PROVIDED EV CAPABI E ACCESSIBI E PROVIDED EV CAPABLE VAN ACCESSIBLE PROVIDED 2 SPACES 53 SPACES ACCESSIBLE PARKING PROVIDED STANDARD PARKING PROVIDED COMPACT PARKING PROVIDED 31 SPACES STANDARD TANDEM PARKING PROVIDED 1 SPACE COMPACT TANDEM PARKING PROVIDED
TOTAL PARKING PROVIDED "COMPACT STALLS ALLOWABLE = 40% OF 176 COMPACT STALLS PROVIDED OFFICE CLEAN AIRCARPOOLDEV SPACES PROVIDED PER CALGREEN 5.106.5.2 OFFICE EV CAPABLE STANDARD SPACES PER SMMC 23.7.0.0 OFFICE EV CAPAGING VAN ACCESSIBLE SPACES PER C9C 118-228.3.2.1 16 SPACES 15 SPACES 1 SPACES 1 SPACES 2 SPACES OFFICE EV CHARGING STANDARD ACCESSIBLE SPACES PER CBC 11B-228.3.2.1 RESIDENTIAL EV CAPABLE STANDARD SPACES PER SMMC 23.70.030

STREET PARKING (EXISTING = 8 SPACES; PROPOSED = 8 SPACES)
STANDARD STREET PARKING PROVIDED

AUTOMOBILE PARKING STALL DIMENSIONS
(SECTION 27 54 120)
PARKING STALLS (GBC TABLE 118-208.2)

	4		-,			- (,
STALL TYPE	WIDTH	DEPTH	AISLE	COMPLIANT	TOTAL PARKING SPACES	MINIMUM	COMPLIAN
STANDARD	8'-6" 8'-0"	18'-0" 17'-0"	24'-0"	YES YES	151-200	6	
COMPACI	0-0	17 -0	22.0	ILO			

KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

1 PROPERTY LINE
2 CONCRETE COLUMN
3 CAST-IN-PLACE CONCRETE WALLS

4 CONCRETE RAMP
5 CONCRETE CURB

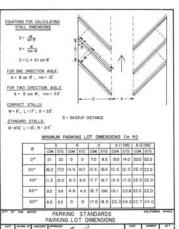
6 LONG-TERM SECURE BICYCLE PARKING WITH DESIGNATED MAINTENANCE AREA; SEE A1.01 FOR BICYCLE PARKING CALCULATIONS

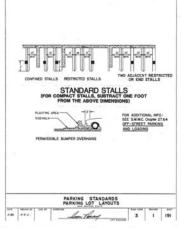
ONNECTION TO EXISTING PERMITTED BUILDING BELOW GRADE PARKING; RAMP FROM P1 TO P2 LEVEL OCCURS IN EXISTING PERMITTED BUILDING ON ADJACENT PROPERTY DURING THE CONSTRUCTION DOCUMENT PHASE, A FULL AMMR FOR THE CONNECTION BETWEEN THE PARCELS WILL BE DEVELOPED IN CONJUNCTION WITH THE CITY BUILDING DEPARTMENT AND FIRE DEPARTMENT FOR REVIEW AND APPROVAL. THIS WILL INCLUDE MEASURES TO ADDRESS SMOKE; FIRE, AND RECOJURED SEPARATION. AT THE PARTMENT STACES, WE ARE PROPOSING THE INSTALLATION OF A 90-MINIUTE RATED ROLLING SHUTTER ON EACH SIDE OF THE OPENING TO PROVIDE A 3-HOUR RATED BARRIER BETWEEN THE TWO AREAS OF THE PARKING GARAGE WHAT HE SHUTTERS ARE CLOSED. THE BUILDING CODE REQUIRES THAT A THE EXTERTIOR WALL OF A TYPE S-2 BUILDING THAT HAS A WALL OF LESS THAN 5 FEET FROM THE PROPERTY LINE HAS A 2-HOUR RATING. THE DOORS WOULD CLOSE IN THE EVENT OF A FIRE ALARM OR IF THE AUTOMATIC SPRINKLERS WERE ACTIVATED ON EITHER SIDE OF THE DOOR.

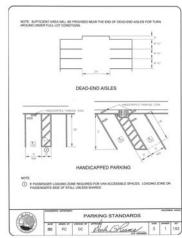
8 ELECTRONICALLY OPERATED SLIDING GATE AND FENCE ENCLOSURE FOR SECURE PARKING

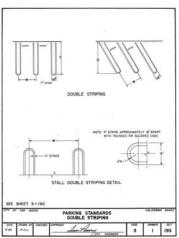
ACCESSIBLE PATH OF TRAVEL PER CBC 11B-402, SHOWN DASHED

OVERHEAD EV CHARGER WITH WALL MOUNTED CONTROL, SHOWN DASHED; SEE GA2.12 FOR ADDITIONAL INFORMATION











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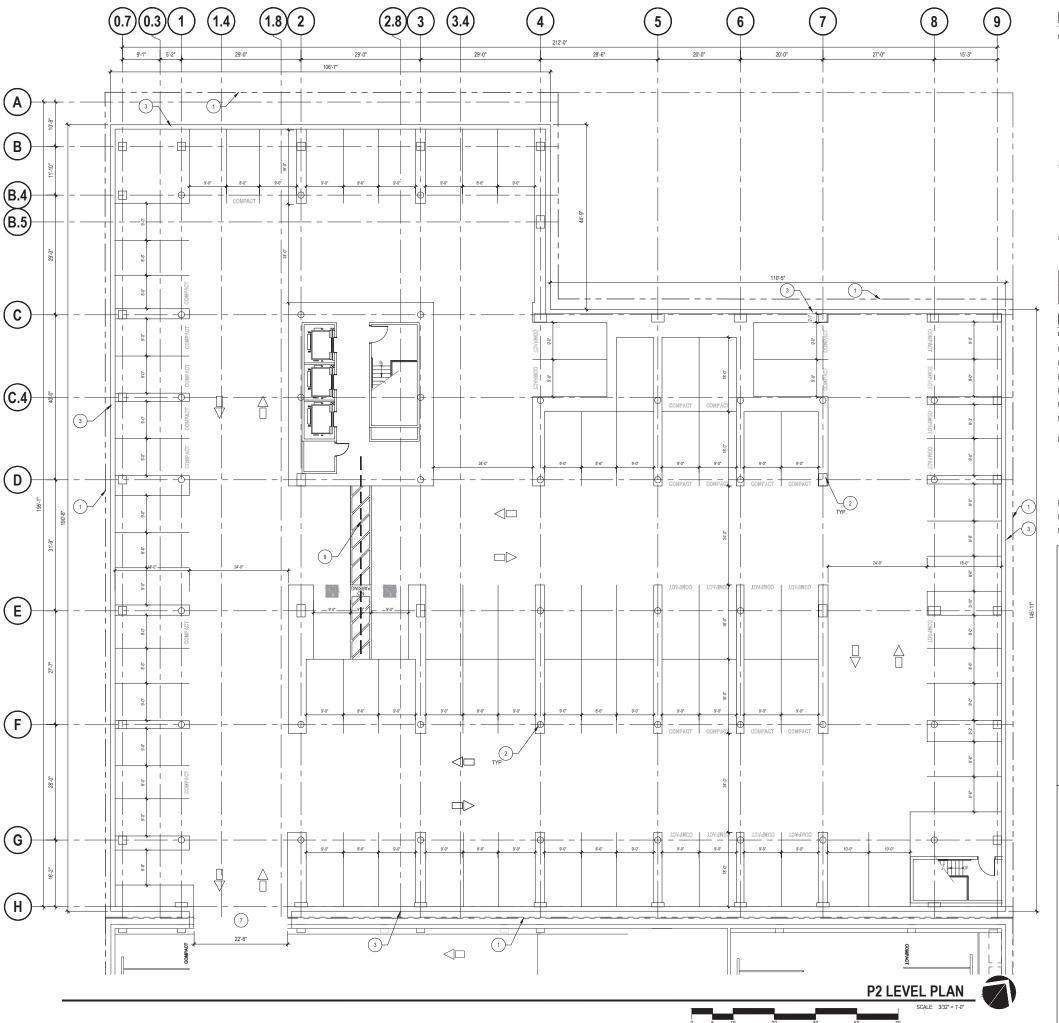
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A Planning Application for:
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DATE DESCRIPTION
4.18 PRELIM PLANNING SUBMIT
17.18 PLANNING SUBMIT
11.18 PLANNING SESUBMIT
18.19 PLANNING RESUBMIT

P1 LEVEL PLAN

GA2.11



PARKING ANALYSIS

BELOW GRADE PARKING PROVIDED GRADE PARKING PROVIDED

1 LEVEL
SECURE RESIDENTIAL - VAN ACCESSIBLE
SECURE RESIDENTIAL - STANDARD
SECURE RESIDENTIAL - STANDARD
SECURE RESIDENTIAL - COMPACT
ACCESSIBLE PARKING PROVIDED
VAN ACCESSIBLE PARKING PROVIDED
COMPACT PARKING PROVIDED
COMPACT PARKING PROVIDED
STANDARD PARKING PROVIDED
STANDARD PARKING PROVIDED 1 SPACE 6 SPACES 6 SPACES 3 SPACES 1 SPACES 38 SPACES 25 SPACES 2 SPACES 1 SPACE 1 SPACE STANDARD TANDEM PARKING PROVIDED COMPACT TANDEM PARKING PROVIDED EV CAPABLE ACCESSIBLE PROVIDED EV CAPABLE VAN ACCESSIBLE PROVIDED P2 LEVEL ACCESSIBLE PARKING PROVIDED 2 SPACES STANDARD PARKING PROVIDED COMPACT PARKING PROVIDED 53 SPACES 31 SPACES STANDARD TANDEM PARKING PROVIDED 1 SPACE COMPACT TANDEM PARKING PROVIDED TOTAL PARKING PROVIDED *COMPACT STALLS ALLOWABLE = 40% OF 176 **COMPACT STALLS ALLUWABLE ** 4U% OF 176

OFFICE CLEAN AIRCARPOOLEV SPACES PROVIDED PER CALGREEN 5.106.5.2

OFFICE EV CAPABLE STANDARD SPACES PER SIMIC 23.70.040

OFFICE EV CHARGING VAN ACCESSIBLE SPACES PER GBC 118.228.2.1

OFFICE EV CHARGING STANDARD ACCESSIBLE SPACES PER GBC 118.228.2.1

RESIDENTIAL EV CAPABLE STANDARD SPACES PER SIMIC 23.70.030

STREET PARKING (EXISTING = 8 SPACES; PROPOSED = 8 SPACES) STANDARD STREET PARKING PROVIDED

AUTOMOBILE PARKING STALL DIMENSIONS (SECTION 27.64.120) REQUIRED NUMBER OF ACCESSIBLE PARKING STALLS (CBC TABLE 11B-208.2)

STALL TYPE	WIDTH	DEPTH	AISLE	COMPLIANT	TOTAL PARKING SPACES	MINIMUM	COMPLIAN
	*****				SPACES	REQUIRED	
STANDARD COMPACT	8'-6" 8'-0"	18'-0" 17'-0"	24'-0" 22'-8"	YES YES	151-200	6	
COMPACI	0.0	17 -0	22 -0	150			

KEYNOTES

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PROPERTY LINE

2 CONCRETE COLUMN

3 CAST-IN-PLACE CONCRETE WALLS
4 CONCRETE RAMP
5 CONCRETE CURB

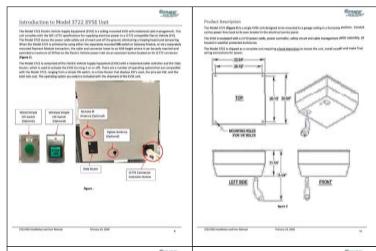
6 LONG-TERM SECURE BICYCLE PARKING WITH DESIGNATED MAINTENANCE AREA; SEE A1.01 FOR BICYCLE PARKING CALCULATIONS

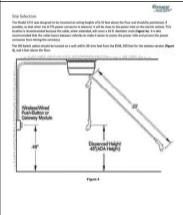
CONNECTION TO EXISTING PERMITTED BUILDING BELOW GRADE PARKING; RAMP FROM P1 TO P2 LEVEL OCCURS IN EXISTING PERMITTED BUILDING ON ADJACENT PROPERTY DURING THE CONSTRUCTION DOCUMENT PHASE, A FULL AMMR FOR THE CONNECTION BETWEEN THE PARCELS WILL BE DEVELOPED IN CONJUNCTION WITH THE CITY BUILDING DEPARTMENT AND FIRE DEPARTMENT FOR REVIEW AND APPROVAL. THIS WILL INCLUDE MEASURES TO ADDRESS SMOKE, FIRE, ADIR DECUINED SEPARATION. AT THE PLANNING STAGES, WE ARE PROPOSING THE INSTALLATION OF A 90-MINUTE RATED ROLLING SHUTTER ON EACH SIDE OF THE OPENING TO PROVIDE A 3-HOUR RATED BARRIER BETWEEN THE TWO AREAS OF THE PARKING GARAGE WHEN THE SHUTTERS ARE CLOSED. THE BUILDING CODE REQUIRES THAT HE EXTENDED THE TWO THE THAT HAS A WALL OF LESS THAN 5 FEET FROM THE PROPERTY LINE HAS A 2-HOUR RATING. THE DOORS WOULD CLOSE IN THE EVENT OF A FIRE ALARM OR IF THE AUTOMATIC SPRINKLERS WERE ACTIVATED ON EITHER SIDE OF THE DOOR.

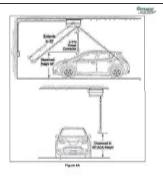
8 ELECTRONICALLY OPERATED SLIDING GATE AND FENCE ENCLOSURE FOR SECURE PARKING

ACCESSIBLE PATH OF TRAVEL PER CBC 11B-402, SHOWN DASHED

OVERHEAD EV CHARGER WITH WALL MOUNTED CONTROL, SHOWN DASHED; SEE GA2.12 FOR ADDITIONAL INFORMATION







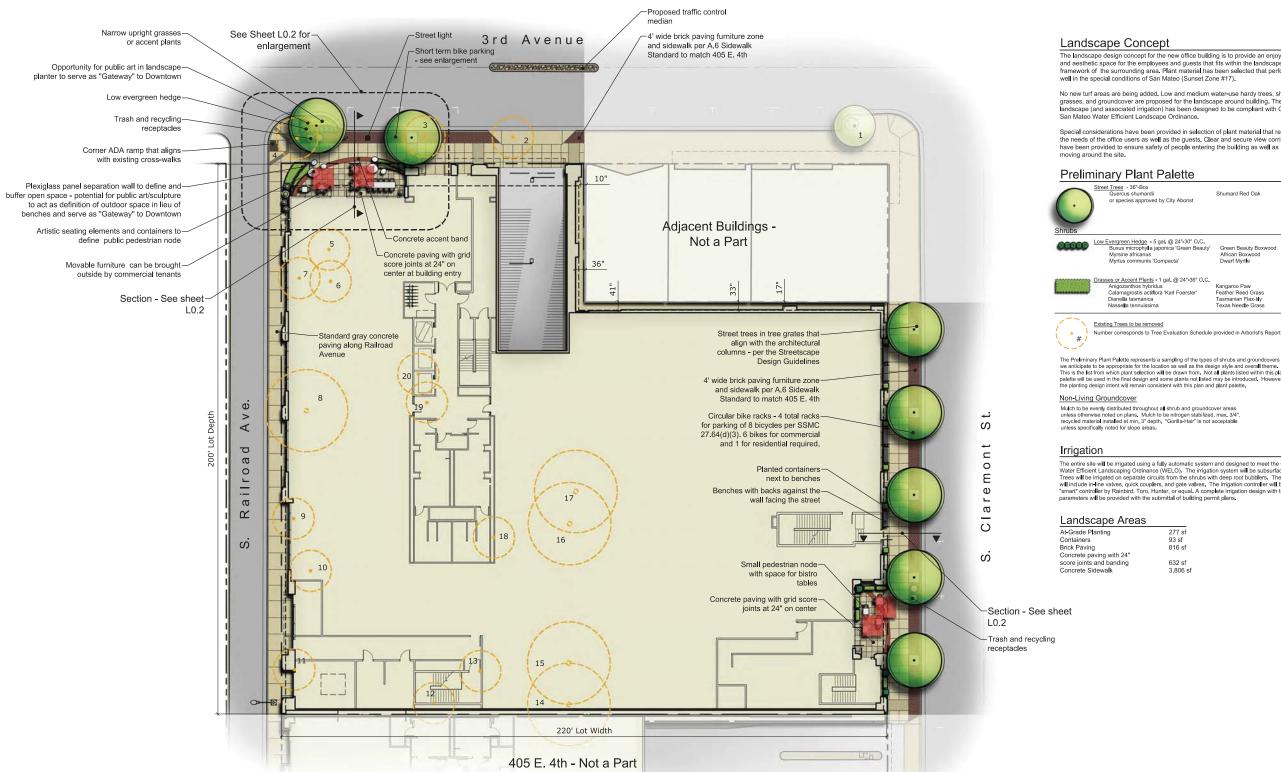
DESCRIPTION
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PLANNING SUBMITTAI
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PLANNING RESUBMITTAI

A Planning Application for:
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GA2.12



The landscape design concept for the new office building is to provide an enjoyable and aesthetic space for the employees and guests that fits within the landscape framework of the surrounding area. Plant material has been selected that performs well in the special conditions of San Mateo (Sunset Zone #17).

No new turf areas are being added. Low and medium water-use hardy trees, shrubs, grasses, and groundcover are proposed for the landscape around building. The landscape (and associated irrigation) has been designed to be compliant with City of San Mateo Water Efficient Landscape Ordinance.

Special considerations have been provided in selection of plant material that respects Special considerations have been provided in selection or plant integrent integrent integrent the needs of the office users as well as the guests, Clear and secure view corridors have been provided to ensure safety of people entering the building as well as moving around the site.

Green Beauty Boxwood

The Proliminary Plant Palette represents a sampling of the types of shrubs and groundcovers that we anticipate to be appropriate for the location as well as the design style and overall theme. This is the lat from which plant selection will be drawn from. Not all plants listed within this plant palette will be used in the final design and some plants not listed may be introduced. However, the planting design intent will remain consistent with his plan and plant palette.

The entire site will be irrigated using a fully automatic system and designed to meet the City's Water Efficient Landscaping Ordinance (WELO). The irrigation system will be subsurface drip line. Trees will be irrigated on separate circuits from the shrubs with deep root bubblers. The system will include in-line valves, quick couplers, and gate valves. The irrigation controller will be a "smart" controller by Rainbird, Toro, Hunter, or equal. A complete irrigation design with these parameters will be provided with the submittal of bubling permit plans.

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San Jose, CA 95113 408.496.1121

PLANNING

151 N. Norlin St., Sonora, CA 9537 (209/632-2856 (209/632-9510 w

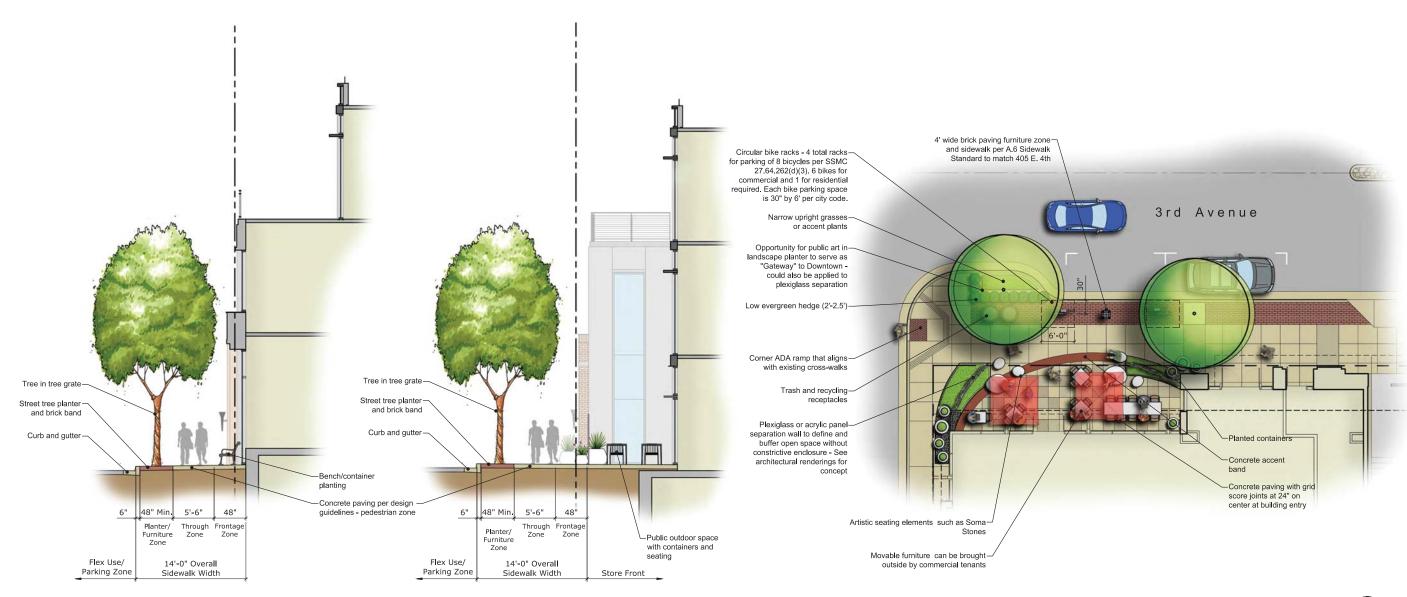
A Planning Application for:
WINDY HILL PROPERTY VENTURES
3RD AVENUE & RAILROAD AVENUE
SAN MATEO, CA 94401

DESCRIPTION

PLANNING SUBMITTAL PLANNING RESUBMITTAL PLANNING RESUBMITTAL PLANNING RESUBMITTAL

Landscape Site Plan

Preliminary Landscape Plan L0.1 PROJECT NO: KLA 18-2080



Street Frontage Enlargement





151 N. Norlin St., Sonora, CA 96370 (209)632-2856 (209)632-9510 is

A Planning Application for:
WINDY HILL PROPERTY VENTURES
3RD AVENUE & RAILROAD AVENUE
SAN MATEO, CA 94401



S. Claremont Street Frontage Section

Design Guidelines A.6 Sidewalk Standards to

conform with neighboring 405 E 4th project



Bench - per City of San Mateo Design Guidelines. Wabash Valley - Estate Series 72". Color: Black powder coat



3rd Avenue Street Frontage Section

Design Guidelines A.6 Sidewalk Standards to

conform with neighboring 405 E 4th project

Trash receptacle - Wabash Valley Urbanscape "J" style 32 gallon Receptacle. Color: Black powder coat



Tree grate - per City of San Mateo Design Guidelines. Urban Accessories - OT - Title 24, Color: Powdercoat RAL 6004







Preliminary Landscape Plan L0.2 PROJECT NO: KLA 18-2080

DESCRIPTION
PRELIM. PLANNING SUBMITTAL
PLANNING SUBMITTAL
PLANNING RESUBMITTAL
PLANNING RESUBMITTAL
PLANNING RESUBMITTAL

LEGEND

NOT TO SCALE

ABBREVIATIONS TELEPHONE ASPHALTIC CONCRETE AREA DRAIN BOTTOM OF RAME BW BACK OF WALK CATCH BASIN COMM COMMUNICATION CONC CONCRETE FAST ECAB ELECTRIC CABINET EDGE OF PAVEMENT EDGE OF WALK FINISH FLOOR FLOW LINE FNC FENCE

SDMH SLB SSCO

SSMH

HOSERIR INVERT ELEVATION LANDSCAPE LIP OF GUTTER PARKING METER PAVEMENT POLYVINYL CHLORIDE RIM ELEVATION SOUTH STORM DRAIN MANHOLE

STREET LIGHT BOX

THRU CURB DRAIN

TRASH ENCLOSURE TELEPHONE

TOP OF RAMP TRAFFIC SIGNAL BOX

TOP OF WALL

UTILITY POLE

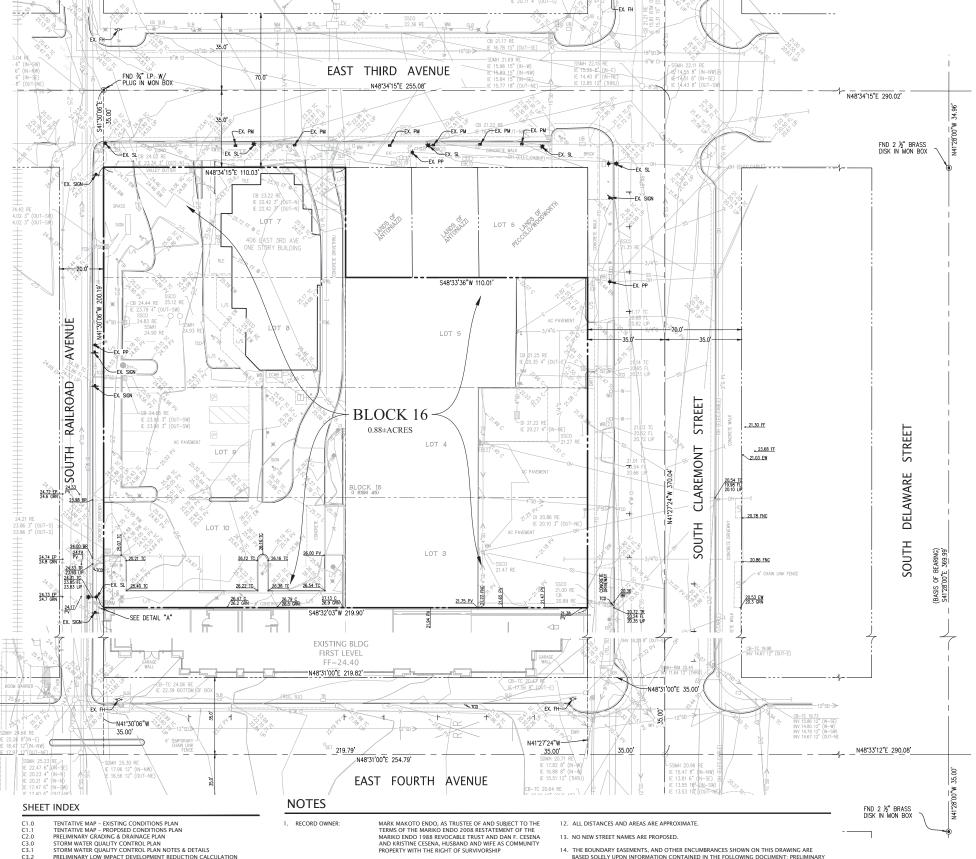
SANITARY SEWER MANHOLE TELEPHONE BOX TOP OF CURB

BUILDING LINE
CENTERLINE
CONCRETE, FILOCK / RETAINING WALL
CONCRETE CUBB & GUTTER
CONCRETE CUBB & GUTTER
CONTORE LINE
OBSCURED CONTOUR LINE
OBSCURED CONTOUR LINE
OBSCURED CONTOUR LINE
FILE EDGE OF PAVEMENT
ELECTRIC LINE
FIEDE CONTOUR LINE
FIRE POPICS LINE
GAS LINE-VALVE & METER
JOINT TRENCH
LIOT LINE
MONUMENT / MONUMENT LINE
OVERHEAD POWER LINE
PROPERTY LINE
PROPERTY LINE
STORM DRAIN-MANHOLE & CAECH BASIN
STREET LIGHT CONDUIT LINE
THE STORM DRAIN-MANHOLE & CATCH BASIN
STREET LIGHT CONDUIT LINE
FIELER HONGLINE
BACKFLOW PREVENTION DEVICE
ELECTROLIES
FIELE DEPARTMENT CONNECTION
FIELE HORDER
FIELE HORDER
FIELE HORDER
FIELE HORDER
FIELE DEPARTMENT CONNECTION
FIELE HORDER
FIELE HORD FIRE HYDRANT
GUY ANCHOR
PARKING METER
GAS METER
HANDICAP SYMBOL
POWER POLE/JOINT POLE
RAILROAD CROSSING
TRANSCOMER

UTILITY BOX WATER VALVE



7/18/18



WINDY HILL PROPERTY VENTURES SUBDIVIDER: 530 EMERSON STREET PALO ALTO, CA 94301

3. EXHIBIT PREPARED BY: SANTA CLARA, CA 95054 PHONE: (408) 727-6665

4. A.P.N.'S: 034-182-010, 020, 030, 040, 100, 110 & 150,

DOWNTOWN RETAIL CORE SUPPORT

5. EXISTING USE: COMMERCIAL/RESIDENTIAL MIXED USE

7. EXISTING ZONING "CBD/S" - CENTRAL BUSINESS SUPPORT 8. PROPOSED ZONING "CBD/S" - CENTRAL BUSINESS SUPPORT

10. PROPOSED NUMBER OF LOTS: 1 11. TOTAL ACREAGE:

9. GENERAL PLAN:

17. BASIS OF BEARINGS: THE BEARING OF SOUTH 41"28"00" EAST TAKEN ON THE CENTERLINE OF DELAWARE STREET AS SHOWN ON THAT CERTAIN PARCEL MAP NO. 457 FILED FOR RECORD ON CODER 23, 2017 IN BOOK 83 OF PARCEL MAPS AT PAGE 59 & 60, SAN MATEO COUNTY RECORDS WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.

BASED SOLELY UPON INFORMATION CONTAINED IN THE FOLLOWING DOCUMENT: PREIMINARY TITLE REPORT FUNISHED BY FIRST AMERICAN TITLE INSURANCE COMPANY, ORDER NUMBER NCS-891283-5M, DATED FEBRUARY 2, 2018.

THIS IS NOT A BOUNDARY SURVEY. NO LIABILITY IS ASSUMED BY KIER & WRIGHT FOR THE EXISTENCE OF ANY EASEMENT, ENCUMBRANCES, DISCREPANCIES IN BOUNDARY OR TITLE DEFECTS NOT MENTIONED IN SAID DOCUMENTS AND THEREFORE NOT SHOWN ON THIS DRAWING.

FLOOD ZONE NOTE:
 THIS SITE IS IN FLOOD ZONE "X", AREAS OF DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD, PER FLOOD INSURANCE RATE MAP COMMUNITY NO. 060328 0154 F, DATED JULY 16, 2015.

16. BENCHMARK:
CITY OF SAN MATEO BENCHMARK 033-004; RAM SET NAIL NORTHEASTERLY RETURN AT THE
INTERSECTION OF B STREET AND 5TH AVENUE.
ELEVATION: 27.64 FEET (DATUM) NGVD 1929

TENTATIVE PARCEL MAP -EXISTING CONDITIONS PLAN

ARC TEC ARCHITECTURAL TECHNOLOGIES Arizona

2960 East Northern Avenue, Building (
Phoenix, AZ 85028 602.953.2355 California 1731 Technology Drive, Suite 750 San Jose, CA 95113 408.496.1121

A Planning Application for:
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SAN MATEO, CA 94401

C1.0



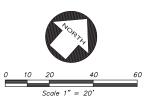
LEGEND

PROPOSED STREET LIGHT

BUILDING LINE CENTER LINE PROPERTY LINE ADJACENT PROPERTY LINE CONCRETE CURB CONCRETE CURB & GUTTER CONCRETE EXISTING STREET LIGHT

TENTATIVE PARCEL MAP – PROPOSED CONDITIONS PLAN

C1.1



EXISTING PROJECT SEWER FLOWS

COMMERCIAL: 0.00685CFS/ACRE X 0.30AC = 0.0021 CFS 0.0021 CFS = 1,357 GAL/DAY TOTAL: 1,357 GAL/DAY (DRY CONDITIONS) PEAK TOTAL: 1,357 X 2.5 = 3,393 GAL/DAY

*PER CITY OF SAN MATEO SSMP ELEMENT 5- DESIGN & PERFORMANCE STANDARDS.

PROPOSED PROJECT SEWER FLOWS

OFFICE: 0.0065CFS/ACRE X 2.48AC = 0.0161 CFS 0.0161 CFS = 10,419 GAL/DAY RESIDENTIAL: 0.0115 CFS/ACRE X 0.40 AC =0.0046 CFS 0.0046 CFS = 2,973 GAL/DAY

TOTAL: 13.392 GAL/DAY (DRY CONDITIONS) PEAK TOTAL: 13,392 X 2.5 = 33,479 GAL/DAY *PER CITY OF SAN MATEO SSMP ELEMENT 5- DESIGN & PERFORMANCE STANDARDS.

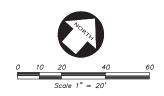
NET PROJECT SEWER FLOWS

NET TOTAL: 12,035 GAL/DAY (DRY CONDITIONS) NET PEAK TOTAL: 30,086 GAL/DAY

PROPOSED PROJECT WATER FLOWS

OFFICE: (10,419 GAL/DAY) / 0.95 = 10,967 GAL/DAY RESIDENTIAL: (2,973 GAL/DAY) / 0.95 = 3,130 GAL/DAY TOTAL: 14,097 GAL/DAY (DRY CONDITIONS) PEAK TOTAL: 14,097 X 2.5 = 35,241 GAL/DAY

* VALUES ARE BASED ON THE ASSUMPTION THAT 90% OF POTABLE WATER USAGE ENTERS THE PUBLIC SANITARY SEWER



NOTE:

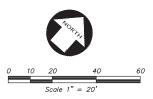
1. WATER/FIRE BACKFLOW PREVENTERS AND GAS METERS SHALL BE LOCATED WITHIN THE BUILDING.



A Planning Application for:
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PRELIMINARY GRADING, DRAINAGE AND UTILITIES PLAN

C2.0



LEGEND

LANDSCAPE AREA

DMA#

#.##

DMA

TCM

MFS

IMPERVIOUS ROOFTOP DRAINING TO MFS

IMPERVIOUS PAVEMENT

TRIBUTARY AREA # TRIBUTARY AREA (ACRES)

DRAINAGE MANAGEMENT AREA TREATMENT CONTROL MEASURE MEDIA FILTRATION SYSTEM

Project Data

PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE									
a. Project Phase Number (N/A, 1, 2, 3, etc.):	N/A	b. Total Site (acres):	0.880						
c. Total Site Existing Impervious Surfaces (square feet):	38,516	d. Total Area of Site Disturbed (acres):	0.880						

	Existing Condition of Site Area Disturbed	Proposed Condition of Site Area Disturbed (square feet)			
e. Impervious Surfaces	(square feet)	Replaced	New ²		
Roof Area(s)	13,016	13,016	6,385		
Parking	17,957	17,957	0		
Sidewalks, Patios,	1,158	1,158	0		
Driveways, etc.					
Streets (public)	0	0	0		
Streets (private)	0	0	0		
Total Impervious Surfaces:	e.1: 32,131	e.2: 32,131	e.3: 6,385		
f. Pervious Surfaces		•			
Landscaped Areas	6,385	0	0		
Pervious Paving	0	0	0		
Other Pervious Surfaces	0	0	0		
(green roof, etc.)		U	U		
Total Pervious Surfaces:	f.1: 6,385	f.2: 0	f.3: 0		

g. Total Proposed Replaced + New Impervious Surfaces (e.2 + e.3): h. Total Proposed Replaced + New Pervious Surfaces (f.2 + f.3): i. Percent of Replacement of Impervious Area in redevelopment 83% projects (e.2 ÷ c x 100):

previously existing impervious surface

Proposed New Impervious Surface: All impervious surface
existing pervious surface.

	TREATMENT CONTROL MEASURE SUMMARY TABLE												
DMA#	TCM#	TREATMENT TYPE	DRAINAGE AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	TREATMENT FLOWRATE REQUIRED (CFS)	TREATMENT FLOWRATE CAPACITY (CFS)	# of Cartridges Required	# of Cartridges Provided	Media Type	Cartridge Height (inches)		
DMA 01	TCM 01	MFS UNIT	20,441	20,441	0	0.08	0.09	4	4	PERK FILTER	18"		
DMA 02	TCM 02	MFS UNIT	18,075	18,075	0	0.07	0.09	4	4	PERK FILTER	18"		
	•	Totals:	38,516										

SITE DESIGN MEASURES

PARKING ON TOP OF OR UNDER BUILDING.

SOURCE CONTROL MEASURES

- MAINTENANCE (PAVEMENT SWEEPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING). STORM DRAIN LABELING INTERIOR PARKING STRUCTURES



ARC TEC

A Planning Application for:
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SAN MATEO, CA 94401

PRELIMINARY STORMWATER **QUALITY CONTROL** PLAN

C3.0

Manufactured Stormwater Treatment Measure Description and Maintenance Plan

for 3rd Avenue & Railroad Avenue

August 21, 2018

Manufactured Stormwater Treatment Measures are PROPRIETARY treatment devices that tend to be installed below ground and operate using some type of proprietary filter media, hydrodynamic separation, or sedimentation and screening. Common examples of manufactured treatment measures include manufactured media filters, inlet filters or drain inserts, oil/water separators and hydrodynamic separators. In August 2004, the Regional Water Board's Executive Office wrote a letter stating that a project replying on inlet filters or oil/water separators as the sole treatment measure would be unlikely to meet the maximum extent practicable standard of the National Pollutant Discharge Elimination System Permit. See the Countywide C.3 Technical Guidance (www.flowstobay.org) for more information.

Project Address: 3rd Avenue and Railroad Avenue

Assessor's parcel #: APN 034-182-150, 020, 030 & 040

Property Owner: Windy Hill Property Ventures Phone No.: (650) 847-1170 Designated Contact: Michael Field Phone No.: (650) 248-3584

Mailing Address: 530 Emerson St., Ste. 150, Palo Alto, CA 94301

The property contains two (2) Media Filters-Oldcastle Perk Filters located as described below and as shown in the attached site plan.

- Media Filter 1 (TCM01) is located at northwesterly corner of
- Media Filter 2 (TCM02) is located at southeasterly corner of the property.

Routine Maintenance Activities
 The principal maintenance objective is to prevent sediment buildup and clogging, which reduces pollutant removal efficiency and may lead to failure of the manufactured treatment measure. Routine maintenance activities, and the frequency at which they will be conducted, are shown in Table 1.

Table 1 Routine Maintenance Activities for Manufactured Treatment Measures							
No.	Maintenance Task	Frequency of Task					
1	Inspect for standing water, sediment, trash and debris.	Monthly during rainy season					
2	Remove sediment, trash and debris from sedimentation basin, riser pipe and filter bed, using vector truck method. Dispose of sediment, trash, filters and debris properly.	As needed					
3	Ensure that manufactured treatment measure drains completely within five days.	After major storm events and as needed.					

4	Inspect outlets to ensure proper drainage.	Monthly during rainy season, or as needed after storm events
5	Follow manufacturer's guidelines for maintenance and cartridge replacement.	As per manufacturer's specifications.
6	Inspect manufactured treatment measure, using the attached inspection checklist.	Monthly, or after large storm events, and after removal of accumulated debris or material

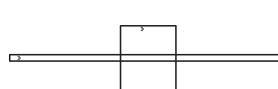
Standing water shall not remain in the treatment measures for more than five days, to prevent

San Mateo County Mosquito Abatement District 1351 Rollins Road Burlingame, CA 94010 PH:(550) 344-5592 FAX: (650) 344-3843 Email: info@smcmad.org

Inspections
The attached Treatment Measure Inspection and Maintenance Checklist shall be used to conduct inspections monthly (or as needed), identify needed maintenance, and record maintenance that is conducted.

Defect	Conditions When Maintenance Is Needed	Maintenance Needed? (Y/N)	Comments (Describe maintenance completed and if needed maintenance was not conducted, note when it will be done)	Results Expected When Maintenance is Performed
Sediment, trash and debris accumulation on Filter	Sediment, trash and debris accumulated in the sedimentation basin, riser pipe, retembon pipes and filter bed. Filter does not drain as specified.			Sediment, trash and debris removed from sedimentation basin, riser pipe and filter bed and disposed of properly. Filter drains per design specifications. Empty cartridge should be reassembled and reinstalled.
2. Standing water	Manufactured treatment measure does not drain within five days after rainfall.			Clogs removed from filters, sedimentation basin, riser pipe and filter bed. Filter drains per design specifications.
3. Mosquitoes	Evidence of mosquito larvae in manufactured treatment measure.			Clogs removed from sedimentation basin, riser pipe and filter bed. Filter drains per design specifications.
4. Miscellaneous	Any condition not covered above that needs attention in order for the manufactured treatment measure to function as designed.			Meet the design specifications.

MEDIA FILTRATION SYSTEM DETAIL



0.9 0.900 0.7 * Input Values by hand or use Table at the bottom of the spreadsheet. Q= C x i x A Q= 0.0844669 cfs

Cartridges= [Q x (449 gpm/cfs)] / CTF
Cartridges= 3,718202 (round up)
Cartridges Required= 4
Treatment Flow Rate Capacity= 0.090869 cfs

	DMA#		2	
	A=	1807	5] s.f.	A= 0.41494 acr
	C Value	Area* (s.f.)	Weighted C Value	Rainfall Intensity (i)
	0.9	18,075		i = 0.2
	0.8	0	0.900	
	0.7	0	0.900	
	0.1	0		
	* Input Values I	by hand or us	e Table at the botto	om of the spreadsheet.
	* Input Values C x i x A 0.0746901		e Table at the botte	om of the spreadsheet.
	CxixA	cfs	e Table at the botto	om of the spreadsheet.
	CxixA 0.0746901	cfs ! Carl	Manufacturer.	Oldcastle 18 in. >>
Q=	CxixA 0.0746901	ds I Carl idge Media (i	Wanufacturer: tridge Height: if applicable): Perk	Oldcastle 18 in. >>

Z:\2018\A18043\DWG\ENTITLEMENTS\XREF\PF-V-4-WA-0001-REV-D-_4-Foot_VauIt-7-Cart_Max_Page_2.tif

A Planning Application for:
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3RD AVENUE & RAILROAD AVENUE
SAN MATEO, CA 94401

ARC TEC

ARCHITECTURAL TECHNOLOGIES

www.arctecinc.com
Arizona

2960 East Northern Avenue, Building C
Phoenix, AZ 85028 602.953.2355 California
1731 Technology Drive, Suite 750
San Jose, CA 95113 408.496.1121

The "user(s)" in possession of this documentation acknowled; ARC TEC's and ARC TEC consultants' drawings, specifications

PRELIMINARY STORMWATER QUALITY CONTROL NOTES, **DETAILS & CALCS**

C3.1

II. Prohibitions
Trees and other large vegetation shall be prevented from growing adjacent to the manufactured treatment measure to prevent damage.

mosquito generation. Should any mosquito issues arise, contact the San Mateo County
Mosquito Abatement District (SMCMAD), as needed for assistance. Mosquito larvicides shall be
applied only when absolutely necessary, as indicated by the SMCMAD, and then only by a
licensed professional or contractor. Contact information for SMCMAD is provided below.

III. Mosquito Abatement Contact Information

20441 s.f. A= 0.46926 acre Area* Weighted C Value 20,441 0 0.900 C Value Rainfall Intensity (i) i = 0.2

MEDIA FILTER SIZING

Manufacturer Clidcastle Cartridge Height 18 in.
Cartridge Medic off applicable) Perk Filter 10.2 gp

Cartridges = [\Omega \times (449 gpm\right|cfs)] / CTF
Cartridges = [3.287828] (round up)
Cartridges Required = 4
Treatment Flow Rate Capacity= 0.090869 cfs

J.4 Category C: Transit-Oriented Development

The defining criteria and LID treatment reduction credits for Category C projects are

CRITERIA FOR CATEGORY C (TRANSIT ORIENTED DEVELOPMENT) SPECIAL PROJECTS To be considered a Category C Special Project, a Provision C.3 Regulated Project must meet all of the following criteria:

- Be characterized as a non-auto-related land use project. That is, Category C specifically excludes any Regulated Project that is a stand-alone surface parking lot; car dealership; auto and truck rental facility with onsite surface storage; fast-food restaurant, bank or pharmacy with drive-through lanes; gas station, car wash, auto repair and service facility; or other auto-related project unrelated to the concept of Transit-Oriented Development.
- 2. If a commercial project, achieve at least an FAR of 2:1.
- 3. If a residential development project, achieve at least a gross density of 25 DU/Ac.
- If a mixed-use development project, achieve an FAR of at least 2:1, or a gross density of 25 DU/Ac.

C.3 and C.6 Development Review Checklist

Worksheet F Special Projects

Complete this worksheet for projects that appear to meet the definition of "Special Project", per Provision C.3.e.ii of the Municipal Regional Stormwater Permit (MRP). The form assists in determining whether a project meets Special Project orbinia, and the percentage of two impact development (LID) treatment reduction credit. Special Projects that Implement less than 100% LID treatment must provide a narrative discussion of the featability or infeasibility of 100% LID treatment. See Appendix J of the C.3 Technical Guidance Handbook (downhoad at wiw finestables upof for more information.

F.1 "Special Project" Determination (Check the boxes to determine if the project meets any of the following categories.)

Special Project Category "A" Does the project have ALL of the following characteristics?

- Does the project have ALL of the following characteristics?

 Located in a municipatity seleginated central business district, downtown core area or downtown core zoning district, neighborhood business district or comparable pedestrian-oriented commercial district, or historic preservation site and/or district.

 Creates and/or replaces 0.5 acres or less of impervious surface;
 Includes no surface parking, except for incidental parking for emergency vehicle access, ADA access, and passenger or freight bading zones;
 In as at least 65% coverage of the entire site by permanent structures. The remaining 15% portion of the site may be used for safety access, paring structure entrances, trash and recycling service, utility access, pedestrian connections, public uses, landscaping and stormwater treatment.

☐ No (continue) ☐ Yes – Complete Section F.2 below

Special Project Category "B"

Does the project have ALL of the following characteristics?

- D. Located in a municipality's designated central business district, downtown core area or downtown core zoning district, neighborhood business district or comparable pedestrian-oriented commercial district, or historic preservation site and/or district²⁺.
- fleight loading zones,

 Has at least 5% coverage of the entire site by permanent structures. The remaining 15% portion of the site may be used for safety access, parking structure entrances, trash and recycling service, utility access, pedestrian connections, public uses, andiscaping and stormwater frestrent.

 Minimum density of either 50 diveling units per acre for residential projects) or a Floor Area Ratio (FAR) of 2.1 (for commercial projects) mixed use projects may use either criterion. Note Change on 7/H16²¹.

Special Project Category "C"

Does the project have ALL of the following characteristics?

- At least 50% of the project area is within 1/2 mile of an existing or planned transit hub? or 100% within a planned Priority Development Area¹⁶,
- ☐ The project is characterized as a non-auto-related use¹⁹, and
 ☐ Minimum density of either 25 dwelling units per acre (for residential projects) or a Floor Area Ratio (FAR) of 2-1 (for commercial projects) will project mixed use projects may use either criterion. Note Change on 7/1/16¹⁹

☐ No (continue) ☐ Yes - Complete Section F-2 below

15 And built as part of a municipality's stated objective to preserve/enhance a pedestrian-oriented type of urban design.

"Announce as part or a management searce objective to preservementance a poseurant-overeet type or unant overgo.

If Effective YTAIN, the MRP establishings definations for "Gost Sensity" (CD) EAR, CD is defined, "The total interior desidential units divided by the acreage of the entire site area, including land occupied by public right-of-ways, recreational, ovic, commercial and other non-readental uses. "Fall a defined as," the Ratio of the total for orea on all floors of all buildings at a project site (except structures, foors, or "Total readents") in the contraction of the

noor areas oecases to painting to the total project site area.

"I" "Tanish tho "I defined as a mil. gift air, or commuter rail stallon, ferry terminal, or bus transfer stallon served by three or more bus routes. (A bus stop with no supporting services does not qualify.)

"I a "Tanish tho "I recommend to the stallon of the stallon of

C.3 and C.6 Development Review Checklist

F.2 LID Treatment Reduction Credit Calculation

(if more than one category applies, choose only one of the applicable categories and fill out the table for that category.)

Category	Impervious Area Created/Replaced (sq. ft.)	Site Coverage (%)	Project Density ¹⁶ or FAR ¹⁶	Density/Criteria	Allowable Credit (%)	Applied Credit (%)
A	1		N.A.	N.A.	100%	
8	-			Res≥50 DU/ac or FAR≥2.1	50%	
				Res ≥ 75 DU/ac or FAR ≥ 3:1	75%	
	10			Res ≥ 100 DU/ac or FAR ≥ 4:1	100%	
C		Ť		Location credit (select one)20;		
				Within ¼ mile of transit hub	50%	50
	38,516		1 2	Within 1/2 mile of transit hub	25%	
				Within a planned PDA	25%	
				Density credit (select one):		
		100%	28 FAR	Res ≥ 30 DU/ac or FAR ≥ 2:1	10%	10
	30,010	100%	ZOFAR	Res ≥ 60 DU/ac or FAR ≥ 4:1	20%	
				Res ≥ 100 DU/ac or FAR ≥ 6:1	30%	
				Parking credit (select one):		
				≤ 10% at-grade surface parking ²¹	10%	_
				No surface parking	20%	20
				TOTAL	TOD CREDIT =	80

F.3 Narrative Discussion of the Feasibility/Infeasibility of 100% LID Treatment:

If project will implement less than 100% LID, prepare a discussion of the feasibility or infeasibility of 100% LID treatment, as described in Appendix K of the C.3 Technical Guidance.

F.4 Select Certified Non-LID Treatment Measures:

ARC TEC ARCHITECTURAL TECHNOLOGIES

www.arctecinc.com
Arizona
2960 East Northern Avenue, Building C
Phoenix, AZ 85028 602.953.2355

California
1731 Technology Drive, Suite 750
San Jose, CA 95113 408.496.1121

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SAN MATEO, CA 94401

PRELIMINARY LOW IMPACT DEVELOPMENT REDUCTION CALCULATION

C3.2

²⁹ To qualify for the location credit, at least 50% of the project's sile must be located within the % mile or % mile radius of an existing or planned transit bub, as defined on page 1, footnote 2. A planned transit bub is a station on the MTCs Regional Transit Expansion Program list, per MTCs. Resolution 3342 eviewed Act 2000; which is a regional priority funding plan for future transit stations in the San Francisco Bay Area. To qualify for the PDA location credit. 100% of the project site must be located within a PDA, as defined on page 1, footnote 3.
²⁹ The signates white parising must be breakful with, DIS externet measures.
²⁹ TAPE: certification is used in order to satisfy Special Project's reporting requirements in the MRP.
9
5/8/18